

DEVELOPMENT TEAM:

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DEVELOPMENT INFORMATION:

TAX MAP #: 056-00-01-012

SITE ACREAGE: 9.64 ACRES

ZONING: B-3 BUSINESS ZONE (PD)

THIS PROPERTY WILL BE DEVELOPED IN A SINGLE PHASE.

SITE PLAN TO COMPLY WITH THE FOLLOWING ZONING CODE SECTIONS:

CITY OF HARTSVILLE SOUTH CAROLINA CITY CODE, PART II, CHAPTER 86 VEGETATION, ARTICLE II - LANDSCAPING

CITY OF HARTSVILLE SOUTH CAROLINA CITY CODE, APPENDIX A - ZONING, ARTICLE VI - GENERAL PROVISIONS

PARKING REQUIREMENTS:

HARTSVILLE PARKING REQ. (AFFORDABLE HOUSING) = 1.0 SPACE PER UNIT

SC HOUSING PARKING REQ. =

1.0 SPACE PER 1 BED UNIT

1.5 SPACE PER 2 BED UNIT

2.0 SPACE PER 3 BED UNIT

LANDSCAPE REQUIREMENTS:

- 90 DEGREE PARKING STALLS = 9'-0" PLANTING ISLAND WIDTH
- (1) CANOPY TREE WITHIN PARKING LOT FOR EVERY (10) PARKING SPACES

THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA, AS SHOWN ON FEMA FLOOD MAP NO. 45036C0285C DATED FEBRUARY 6, 2013

BUILDING CODES:

2021 INTERNATIONAL BUILDING CODE WITH SOUTH CAROLINA AMENDMENTS

2021 RESIDENTIAL BUILDING CODE WITH SOUTH CAROLINA AMENDMENTS

2024 INTERNATIONAL ENERGY CONSERVATION CODE

2021 INTERNATIONAL FIRE CODE WITH SOUTH CAROLINA AMENDMENTS

2021 INTERNATIONAL MECHANICAL CODE WITH SOUTH CAROLINA AMENDMENTS

2021 INTERNATIONAL PLUMBING CODE WITH SOUTH CAROLINA AMENDMENTS

2020 NFPA 70, NATIONAL ELECTRICAL CODE WITH SOUTH CAROLINA AMENDMENTS

ANSI117.1 - 2017 EDITION

SECTION 504 - UFAS

FAIR HOUSING ACT DESIGN MANUAL

PROJECT SQUARE FOOTAGES:

BUILDING 1 (TYPE 2) SQUARE FOOTAGE:

FIRST FLOOR AREA: 9,811 SF

SECOND FLOOR AREA: 9,345 SF

THIRD FLOOR AREA: 9,345 SF

TOTAL BUILDING AREA 28,501 SF

TOTAL BUILDING HEIGHT 47'-5 3/4"

BUILDING 2 (TYPE 1) SQUARE FOOTAGE:

FIRST FLOOR AREA: 11,720 SF

SECOND FLOOR AREA: 11,254 SF

THIRD FLOOR AREA: 11,254 SF

TOTAL BUILDING AREA 34,228 SF

TOTAL BUILDING HEIGHT 47'-0 3/4"

BUILDING 3 (TYPE 2) SQUARE FOOTAGE:

FIRST FLOOR AREA: 9,811 SF

SECOND FLOOR AREA: 9,345 SF

THIRD FLOOR AREA: 9,345 SF

TOTAL BUILDING AREA 28,501 SF

TOTAL BUILDING HEIGHT 47'-5 3/4"

BUILDING 4 (TYPE 1) SQUARE FOOTAGE:

FIRST FLOOR AREA: 11,720 SF

SECOND FLOOR AREA: 11,254 SF

THIRD FLOOR AREA: 11,254 SF

TOTAL BUILDING AREA 34,228 SF

TOTAL BUILDING HEIGHT 47'-0 3/4"

BUILDING 5 (TYPE 3) SQUARE FOOTAGE:

FIRST FLOOR AREA: 5,287 SF

SECOND FLOOR AREA: 5,054 SF

THIRD FLOOR AREA: 5,054 SF

TOTAL BUILDING AREA 15,395 SF

TOTAL BUILDING HEIGHT 47'-0 3/4"

BUILDING 6 (TYPE 1) SQUARE FOOTAGE:

FIRST FLOOR AREA: 11,720 SF

SECOND FLOOR AREA: 11,254 SF

THIRD FLOOR AREA: 11,254 SF

TOTAL BUILDING AREA 34,228 SF

TOTAL BUILDING HEIGHT 47'-0 3/4"

BUILDING 7 (TYPE 2) SQUARE FOOTAGE:

FIRST FLOOR AREA: 9,811 SF

SECOND FLOOR AREA: 9,345 SF

THIRD FLOOR AREA: 9,345 SF

TOTAL BUILDING AREA 28,501 SF

TOTAL BUILDING HEIGHT 47'-5 3/4"

BUILDING 8 (TYPE 4) SQUARE FOOTAGE:

FIRST FLOOR AREA: 10,575 SF

SECOND FLOOR AREA: 10,109 SF

THIRD FLOOR AREA: 10,109 SF

TOTAL BUILDING AREA 30,793 SF

TOTAL BUILDING HEIGHT 47'-5 3/4"

CLUBHOUSE SQUARE FOOTAGE:

TOTAL BUILDING AREA 4,134 SF

TOTAL BUILDING HEIGHT 22'-2 3/4"

MAINTENANCE SQUARE FOOTAGE:

TOTAL BUILDING AREA 345 SF

TOTAL BUILDING HEIGHT 12'-10 1/4"

UNIT SUMMARY:

UNIT DESCRIPTION	SQUARE FOOTAGE	QUANTITY	SUM
1 BED / 1 BATH - STANDARD	790 NSF / 922 GSF	36	54
1 BED / 1 BATH - FHA		15	
1 BED / 1 BATH - ACCESSIBLE		2	
1 BED / 1 BATH - A/V		1	
2 BED / 2 BATH - STANDARD	1,067 NSF / 1,212 GSF	48	72
2 BED / 2 BATH - FHA		17	
2 BED / 2 BATH - ACCESSIBLE		5	
2 BED / 2 BATH - A/V		2	
3 BED / 2 BATH - STANDARD	1,251 NSF / 1,404 GSF	36	54
3 BED / 2 BATH - FHA		15	
3 BED / 2 BATH - ACCESSIBLE		2	
3 BED / 2 BATH - A/V		1	
UNITS, TOTAL RENTABLE AREA	187,038 NSF / 212,868 GSF		180

NOTE: SQUARE FOOTAGES ARE ESTIMATED BASED ON THE FOLLOWING CALCULATIONS:

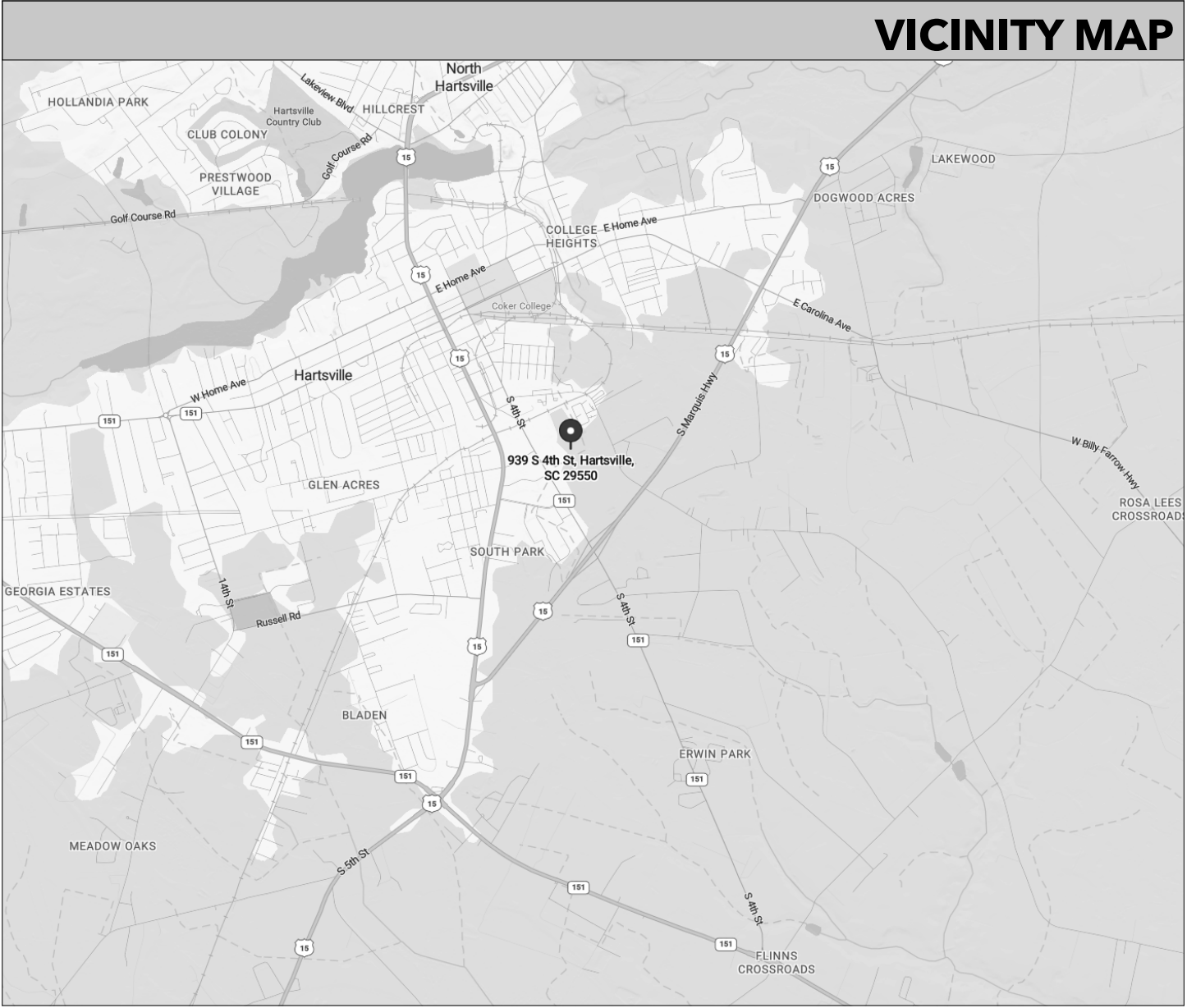
HUD CALCULATIONS PER HUD REGULATIONS:
NET SQUARE FOOTAGE - "PAINT TO PAINT" INSIDE AND/ OR FINISH FACE OF EACH DEMISING WALL/ CORRIDOR WALL/ EXTERIOR WALL.

GROSS SQUARE FOOTAGE - OUTSIDE FACE OF STUD FOR FRAMED WALL CONSTRUCTION OR OUTSIDE FACE OF WALL SURFACE FOR EXISTING MASONRY/CONCRETE WALL CONSTRUCTION, INSIDE FACE OF GLASS WHERE GLAZING COMPRISES MORE THAN 50% OF THE WALL, CENTER LINE OF UNIT DEMISING WALLS AND OUTER FACE OF COMMON / CORRIDOR WALLS.

MARKET CALCULATIONS PER BOMA / IREM:
NET SQUARE FOOTAGE - DEFINED AS AIR CONDITIONED SPACE INCLUDING THICKNESS OF EXTERIOR WALLS OF EACH UNIT BEING MEASURED.

GROSS SQUARE FOOTAGE - ADD AREA OF ATTACHED BALCONIES AND EXTERIOR STORAGE CLOSETS TO MARKET NET AREA CALCULATIONS.

SQUARE FOOTAGES MAY VARY IN PRECISE DETAIL FROM ACTUAL CONSTRUCTION. FLOOR PLANS AND SQUARE FOOTAGES ARE APPROXIMATE AND SUBJECT TO CHANGE WITHOUT NOTICE. PLANS SHOW IMPROVEMENTS THAT ARE PROPOSED AND "NEED NOT BE BUILT".



- COVER SHEET

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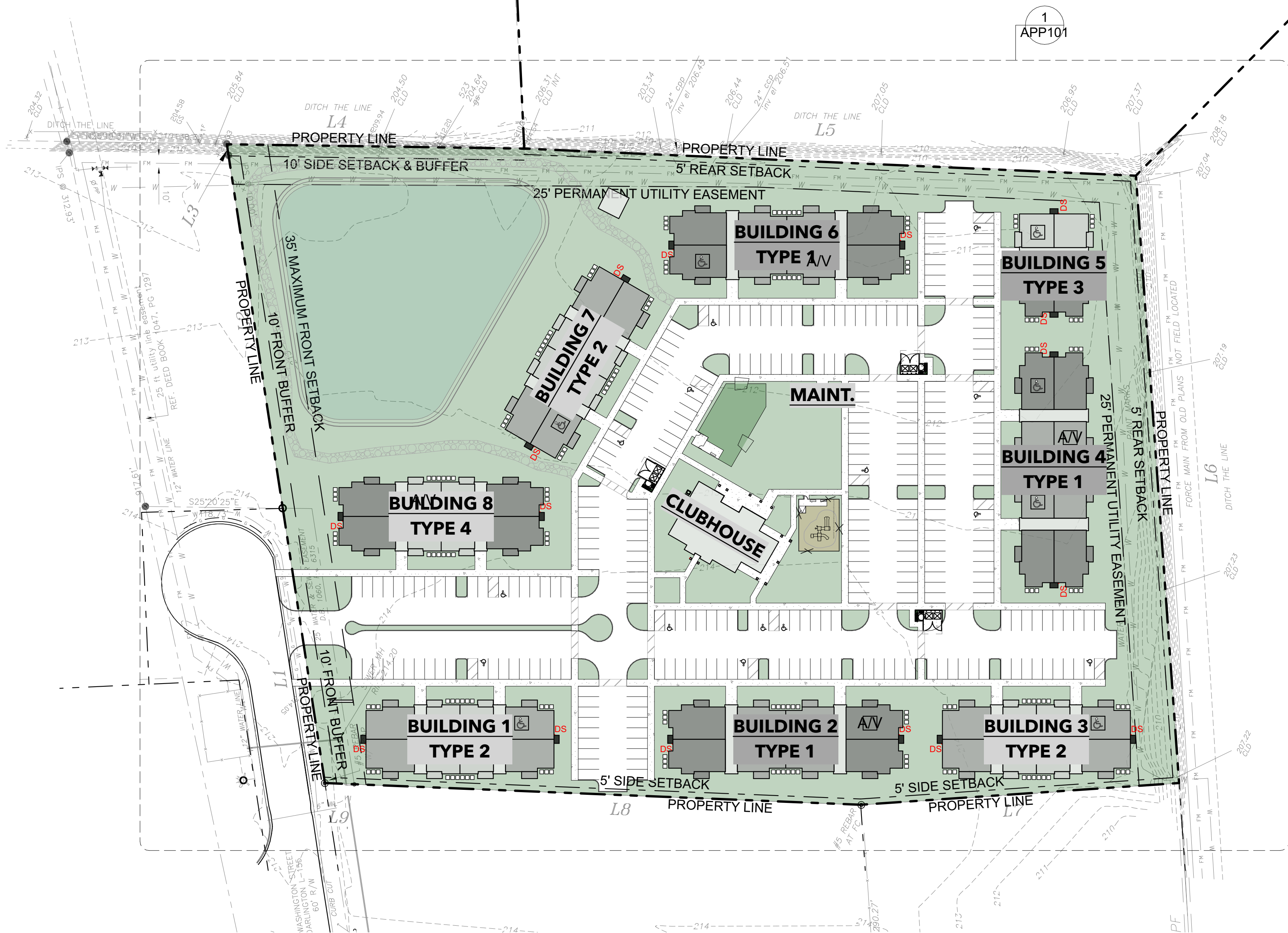
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HARTSVILLE, SC

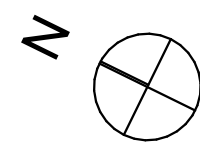


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1 SITE PLAN - OVERALL
SCALE: 1/64" = 1'-0"



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APP100 - OVERALL SITE PLAN

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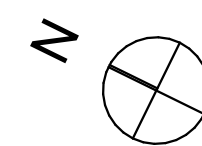
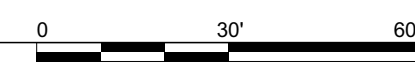


1 PRESENTATION ENLARGED SITE PLAN
SCALE: 1" = 30'

PARKING (VEHICLE):

REQUIRED:	270 SPACES
@1.0 PER 1 BED = 1.0(54) =	54
@1.5 PER 2 BED = 1.5(72) =	108
@2.0 PER 3 BED = 2.0(54) =	108

PROVIDED: 285 SPACES



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APP101 - ENLARGED SITE PLAN

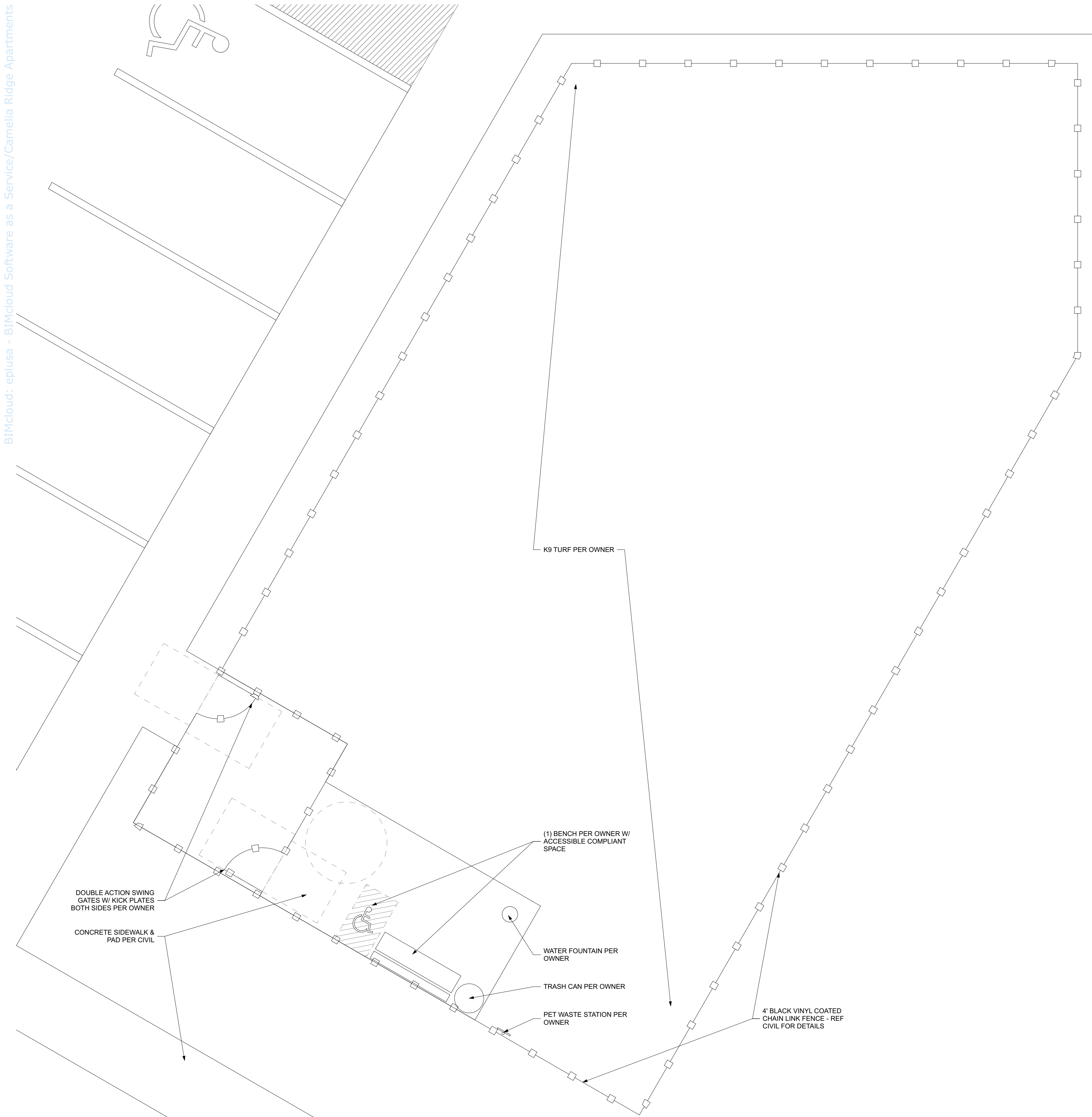
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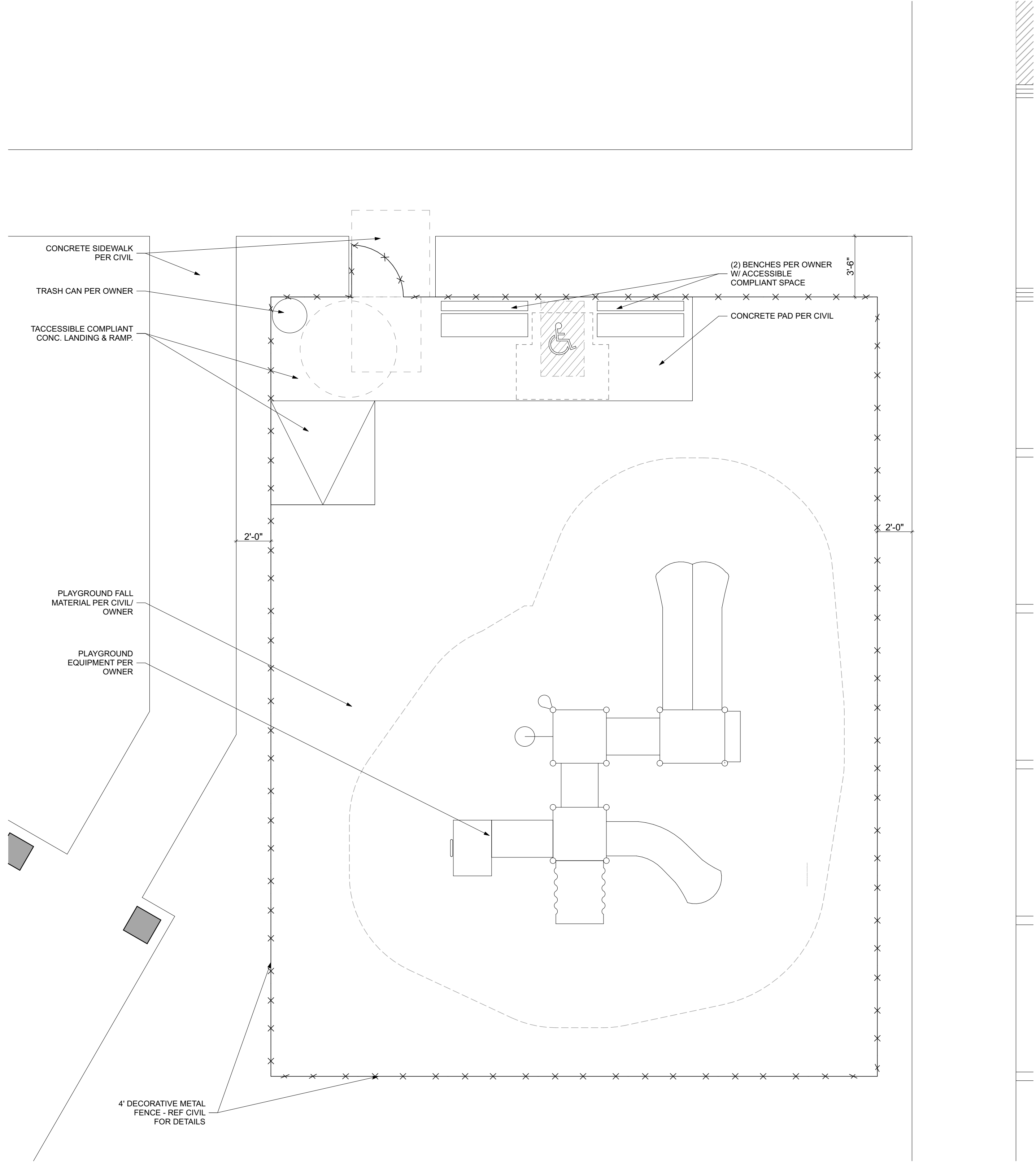


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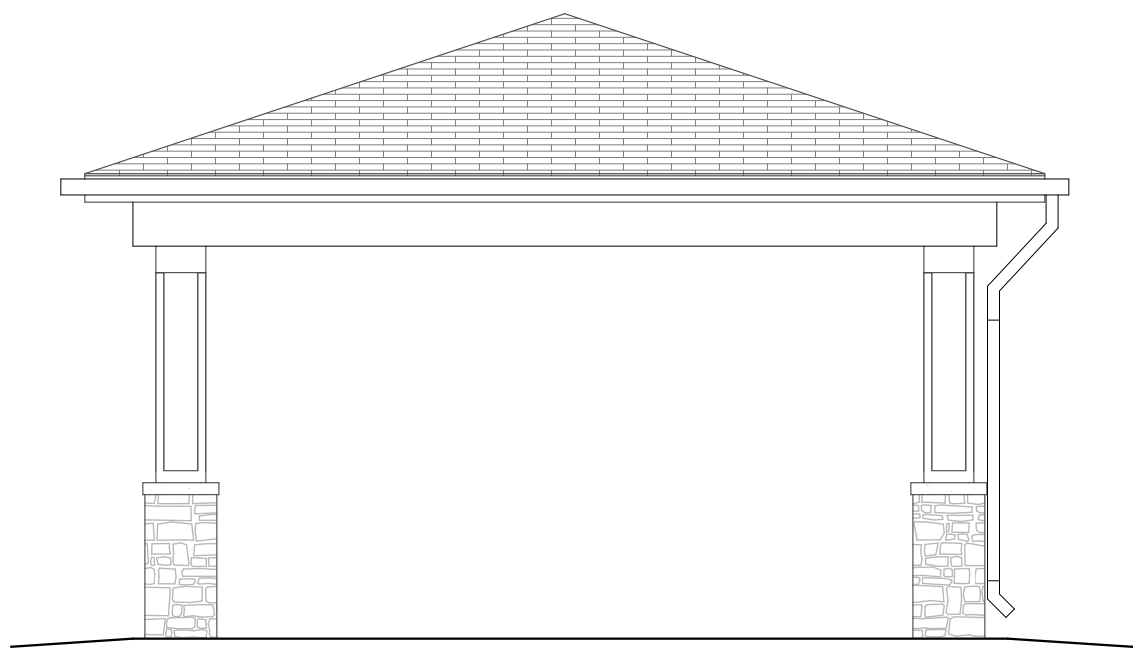
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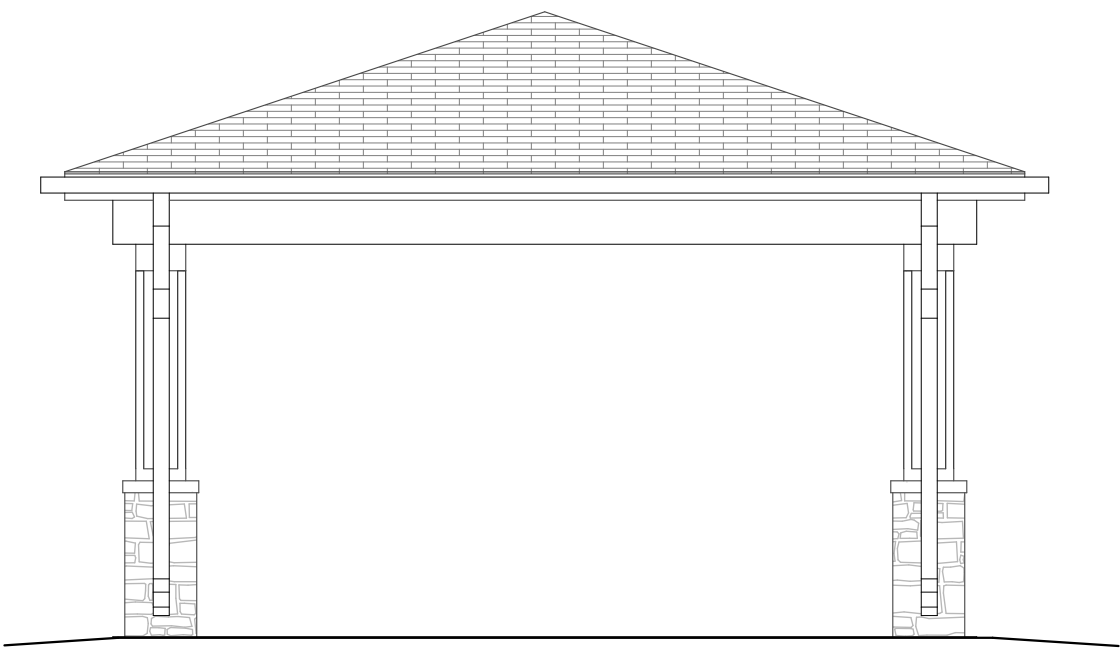
2 ENLARGED SITE PLAN DOG PARK
SCALE: 1/4" = 1'-0"



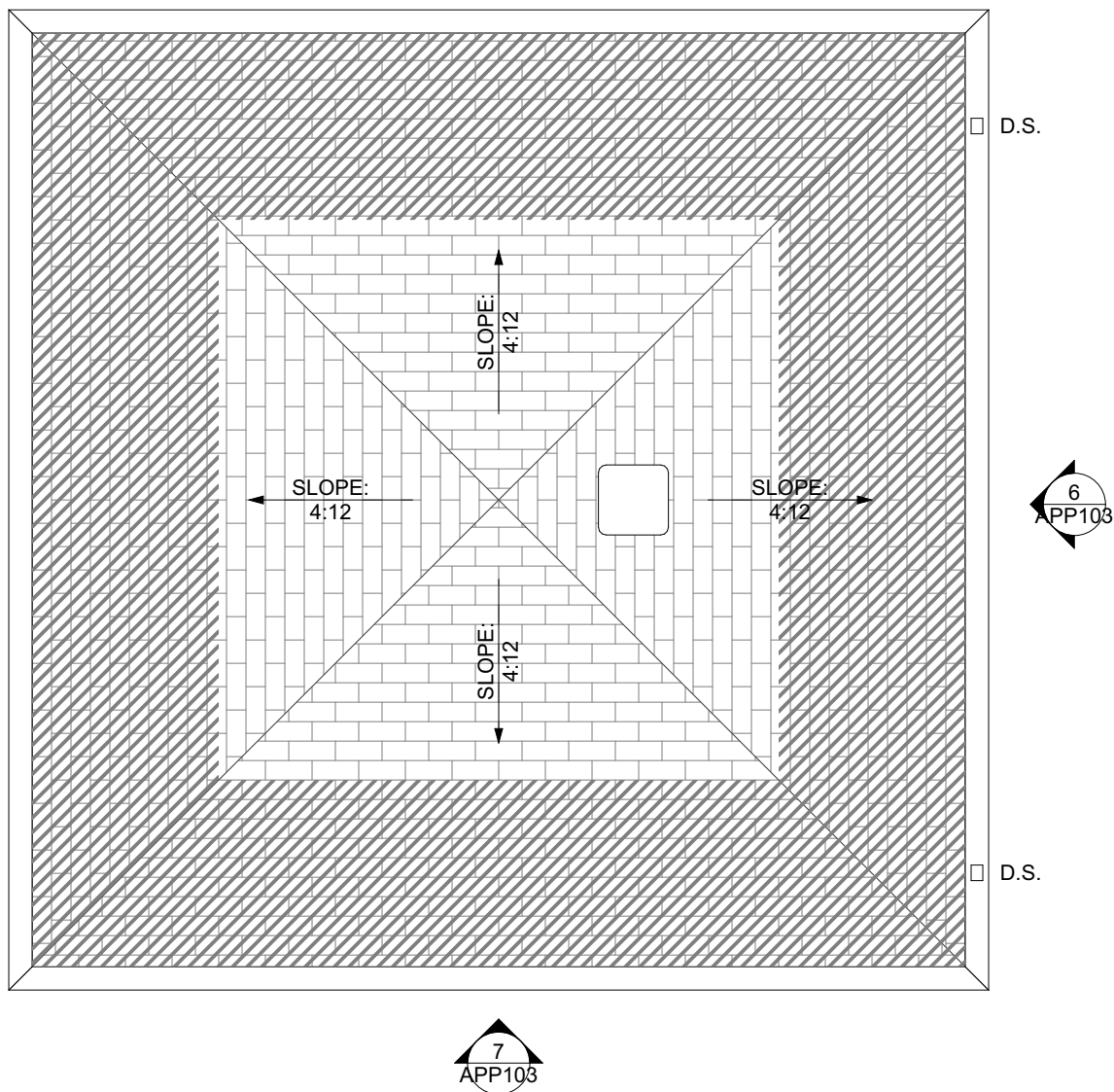
1 ENLARGED SITE PLAN PLAYGROUND
SCALE: 1/4" = 1'-0"



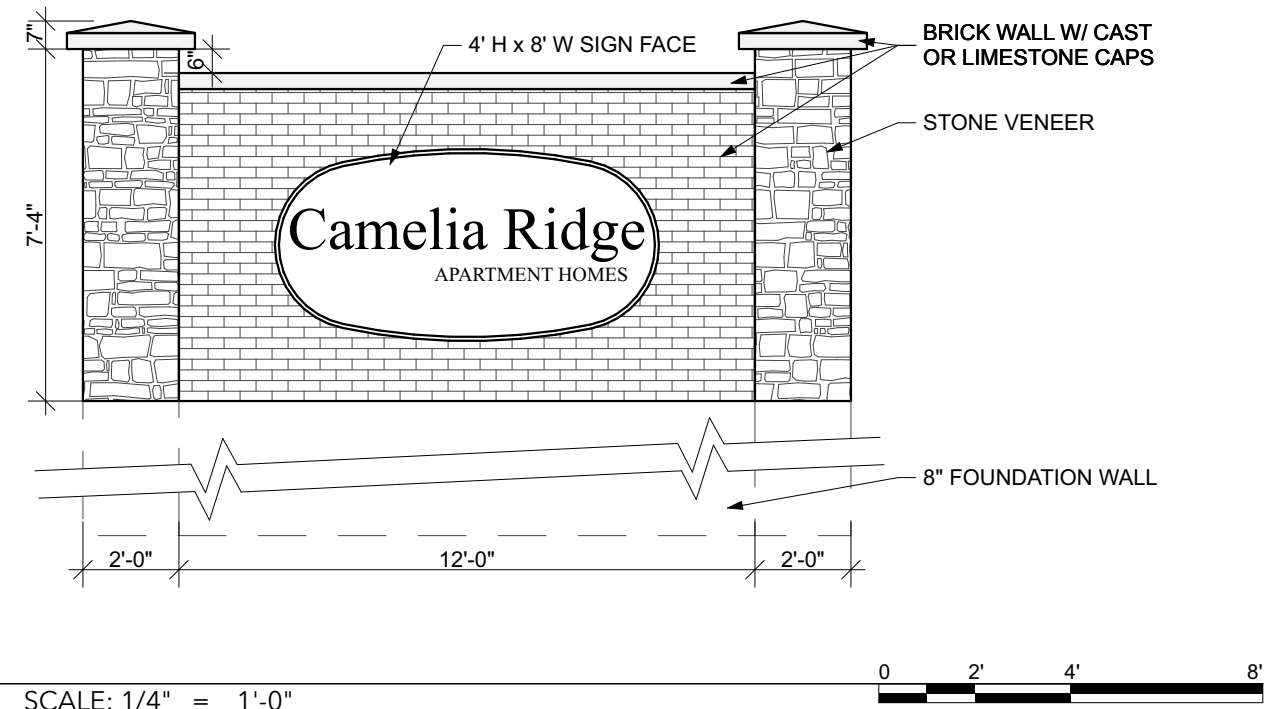
7 REAR ELEVATION
SCALE: 1/4" = 1'-0"



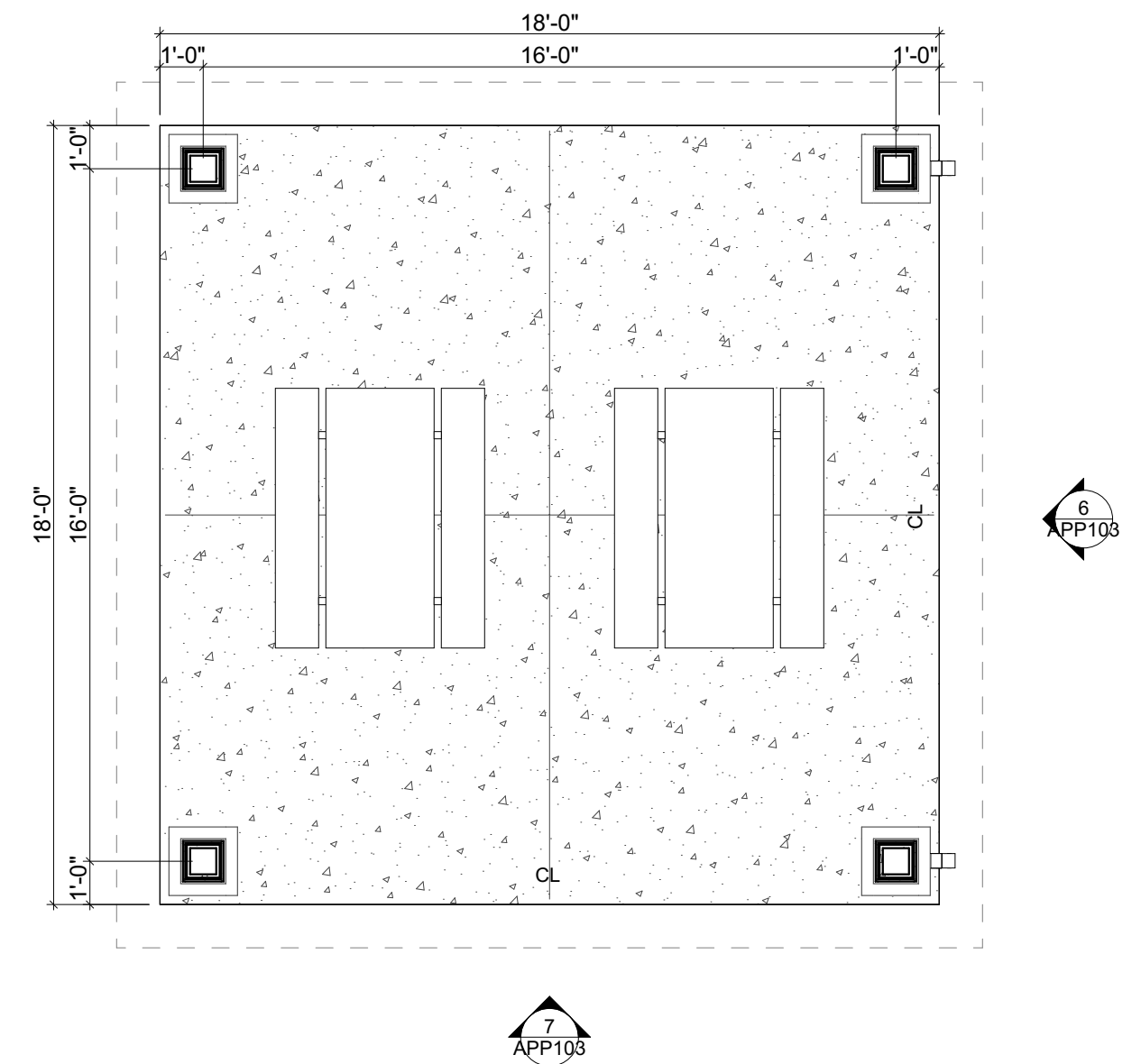
6 SIDE ELEVATION
SCALE: 1/4" = 1'-0"



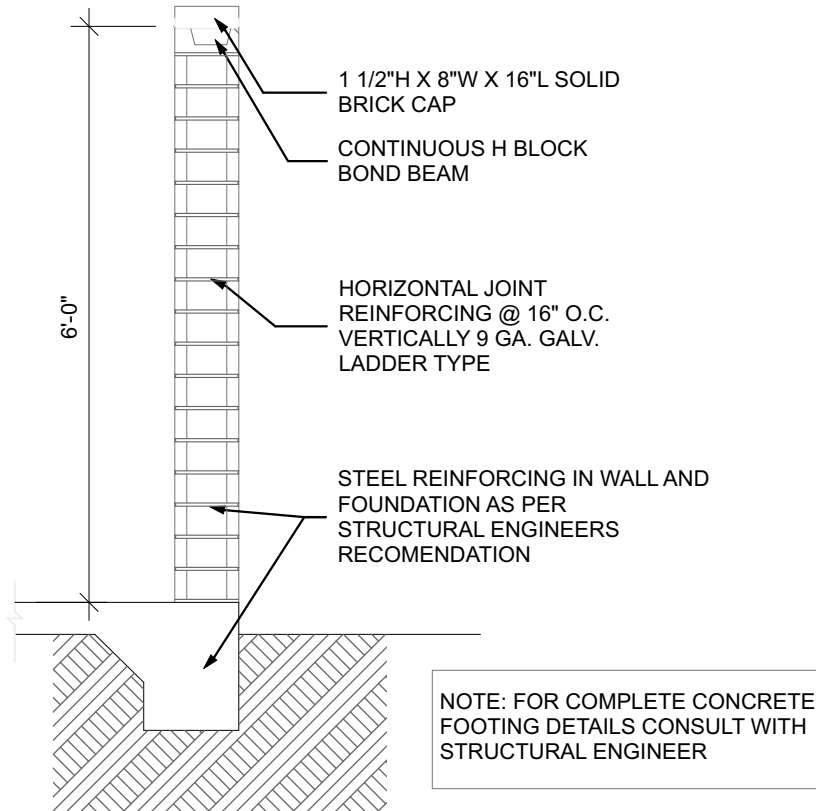
5 PAVILION ROOF PLAN
SCALE: 1/4" = 1'-0"



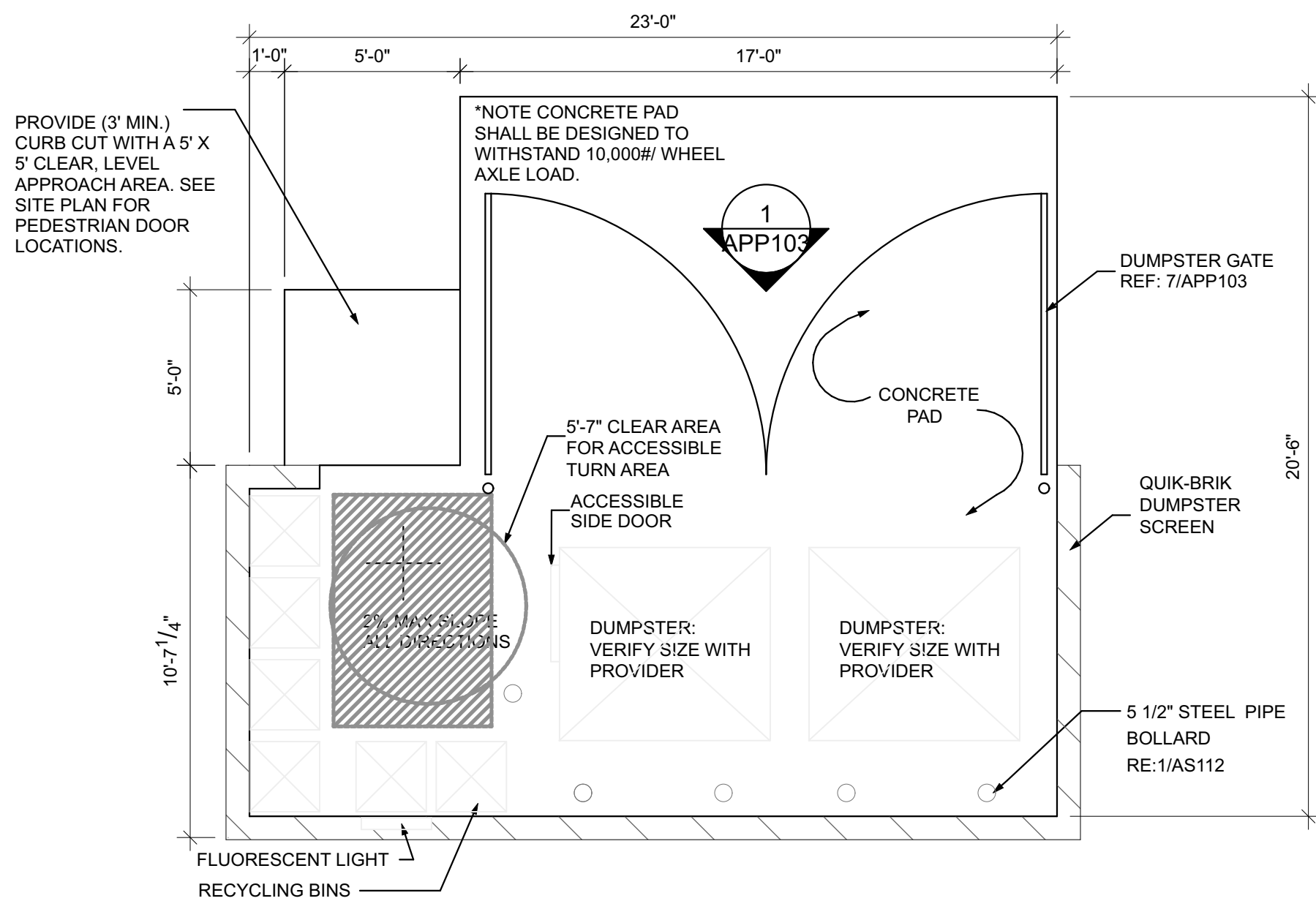
8 SCALE: 1/4" = 1'-0"



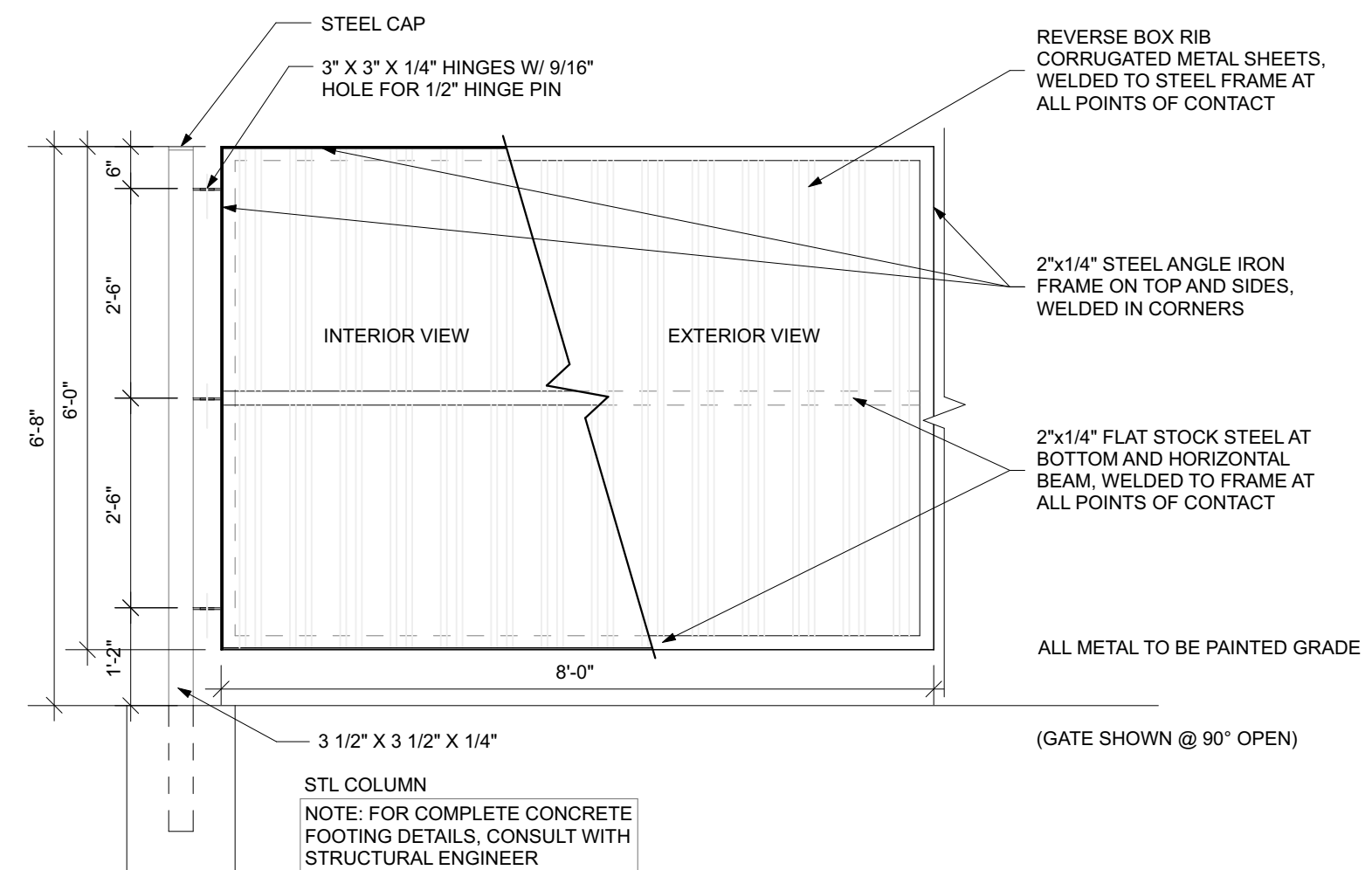
4 PAVILION PLAN
SCALE: 1/4" = 1'-0"



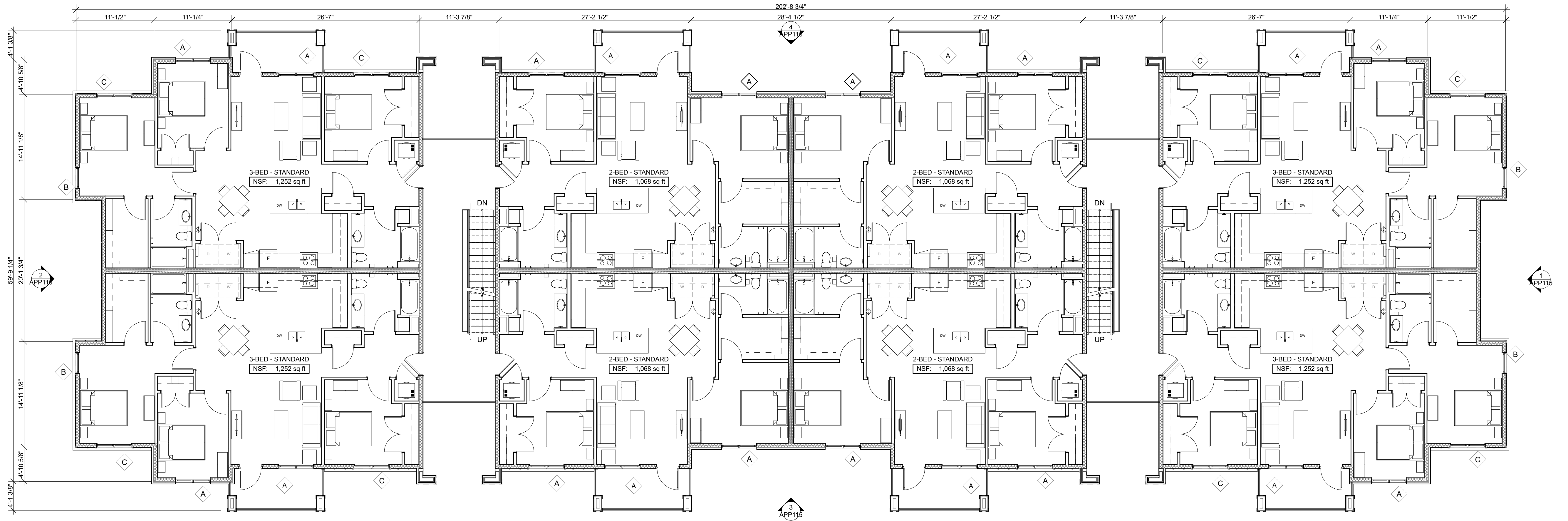
3 TRASH ENCLOSURE SECTION
SCALE: 1/2" = 1'-0"



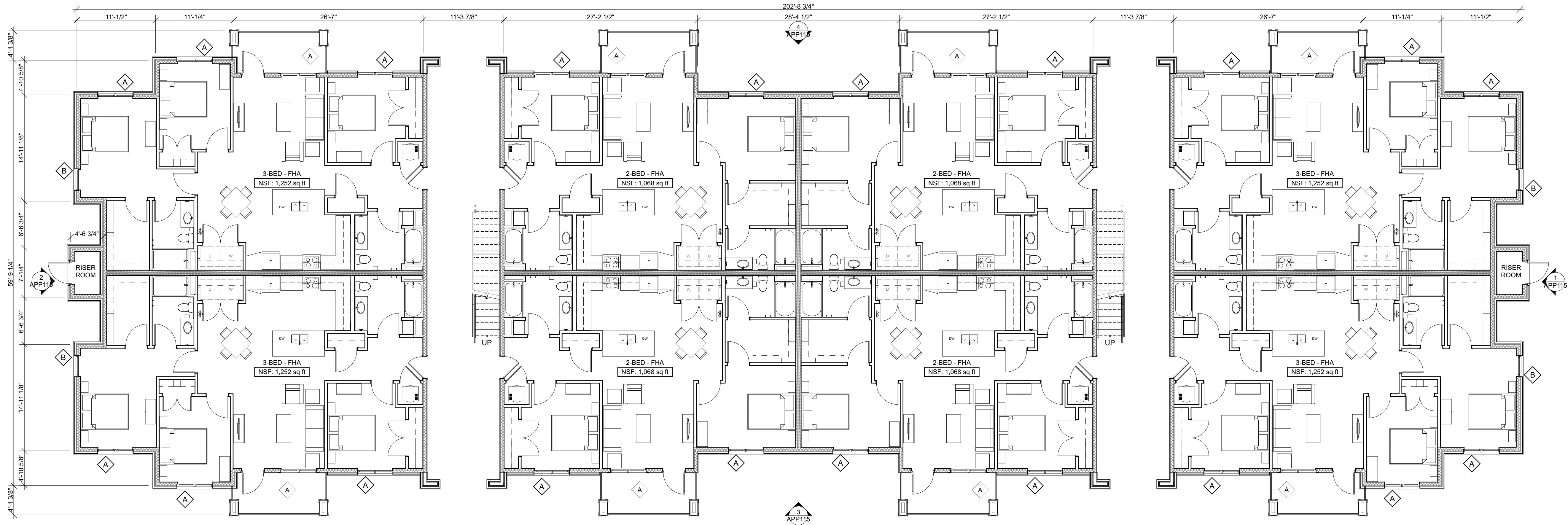
2 TRASH ENCLOSURE PLAN
SCALE: 1/4" = 1'-0"



1 TRASH ENCLOSURE ELEVATION
SCALE: 1/2" = 1'-0"



2 BUILDING TYPE 1 - SECOND FLOOR PLAN (BUILDINGS 2, 4, & 6)
SCALE: 1/8" = 1'-0"
SECOND FLOOR: 11,254 SF
TOTAL: 34,228 SF



1 BUILDING TYPE 1 - FIRST FLOOR PLAN (BUILDINGS 2, 4, & 6)
SCALE: 1/8" = 1'-0"
FIRST FLOOR: 11,720 SF
TOTAL: 34,228 SF

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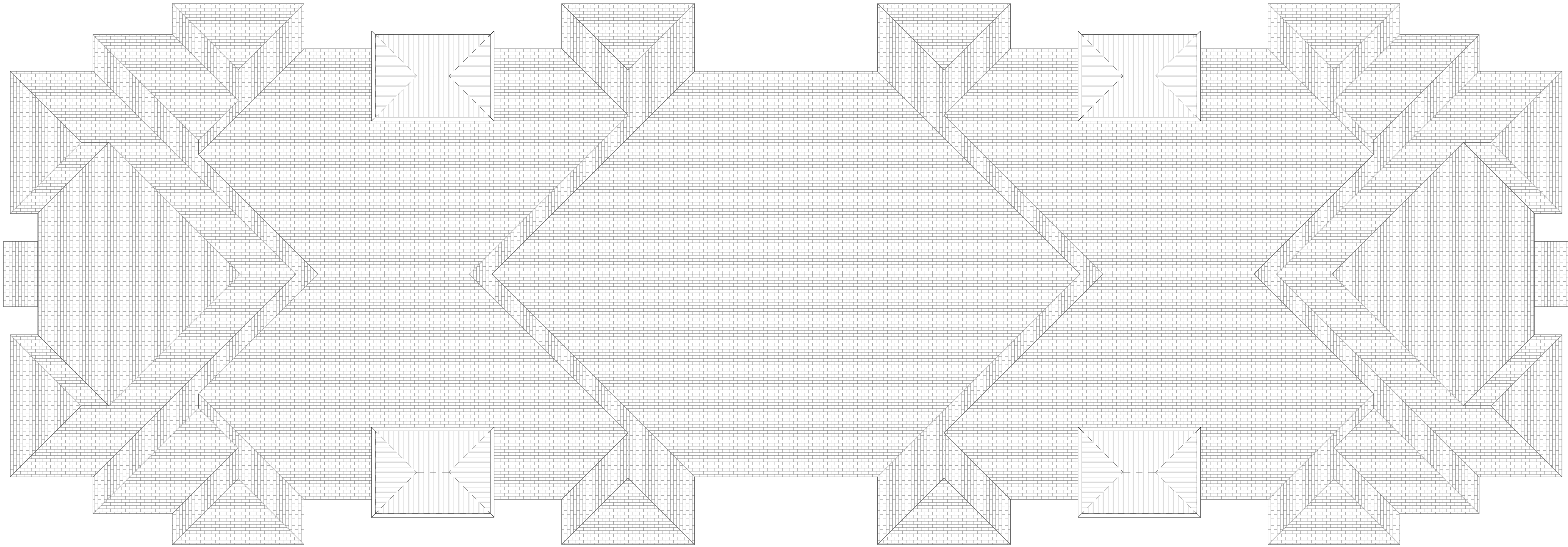
APP104 - OVERALL PLANS - BUILDING TYPE 1

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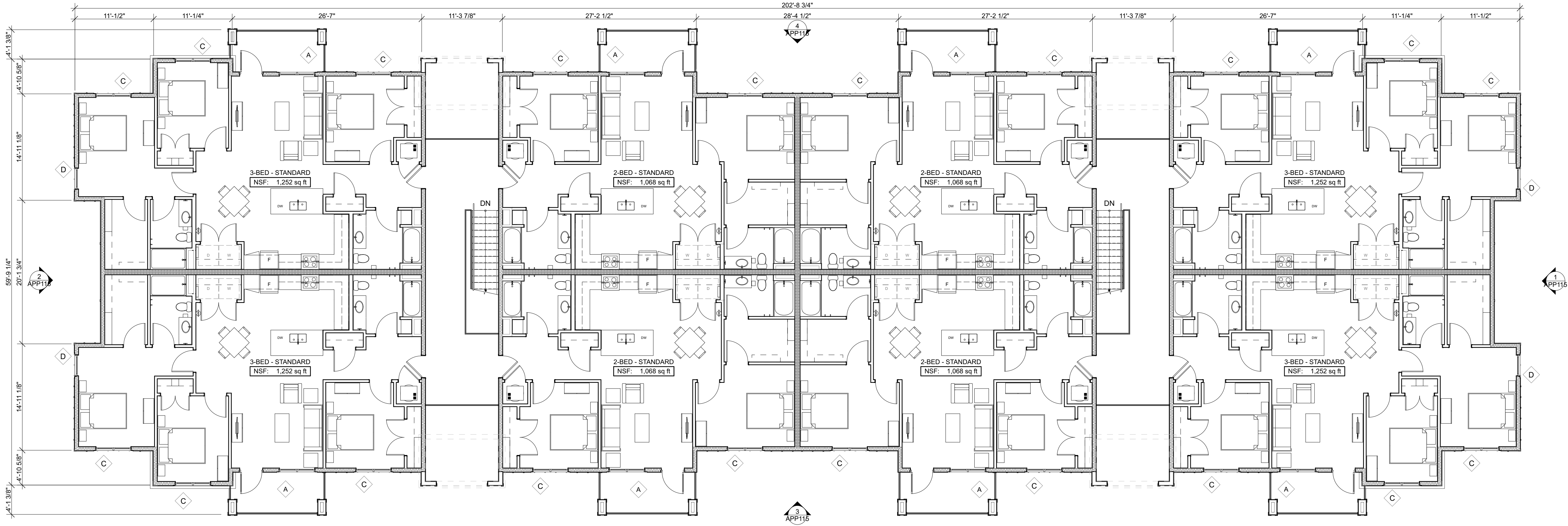


2

BUILDING TYPE 1 - ROOF PLAN (BUILDINGS 2, 4, & 6)

SCALE: 1/8" = 1'-0"

0 4' 8' 16'



1

BUILDING TYPE 1 - THIRD FLOOR PLAN (BUILDINGS 2, 4, & 6)

SCALE: 1/8" = 1'-0"

THIRD FLOOR: 11,254 SF
TOTAL: 34,228 SF

0 4' 8' 16'

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APP105 - OVERALL PLANS - BUILDING TYPE 1

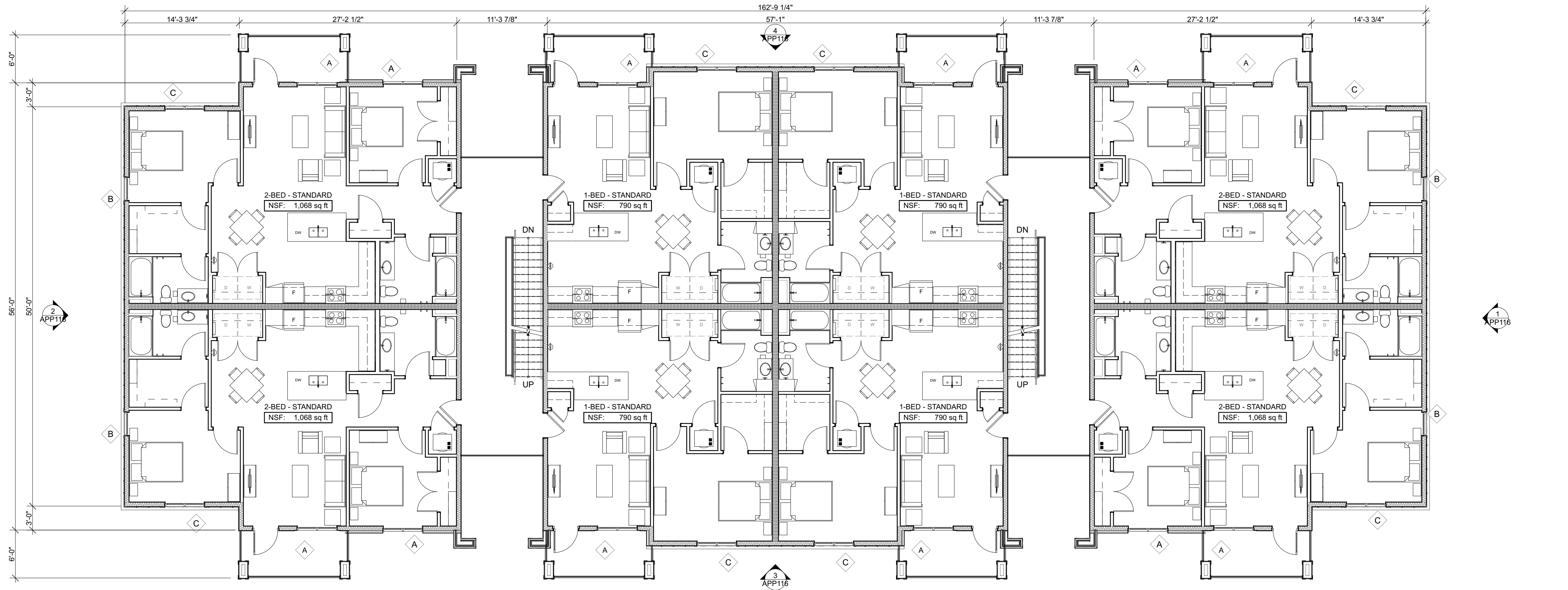
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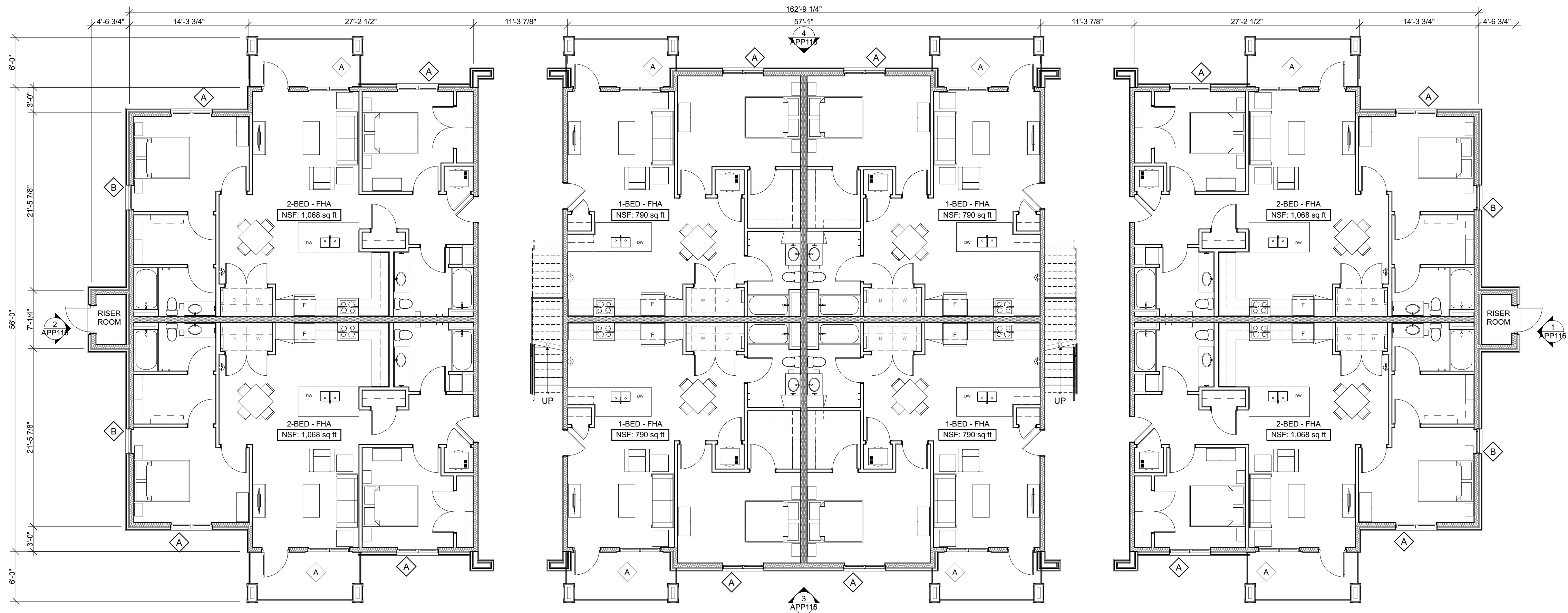
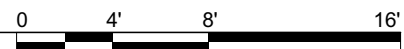


2

BUILDING TYPE 2 - SECOND FLOOR PLAN (BUILDINGS 1, 3, & 7)

SCALE: 1/8" = 1'-0"

SECOND FLOOR: 9,345 SF
TOTAL: 28,501 SF

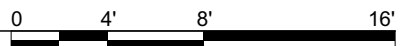


1

BUILDING TYPE 2 - FIRST FLOOR PLAN (BUILDINGS 1, 3, & 7)

SCALE: 1/8" = 1'-0"

FIRST FLOOR: 9,811 SF
TOTAL: 28,501 SF



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APP106 - OVERALL PLANS - BUILDING TYPE 2

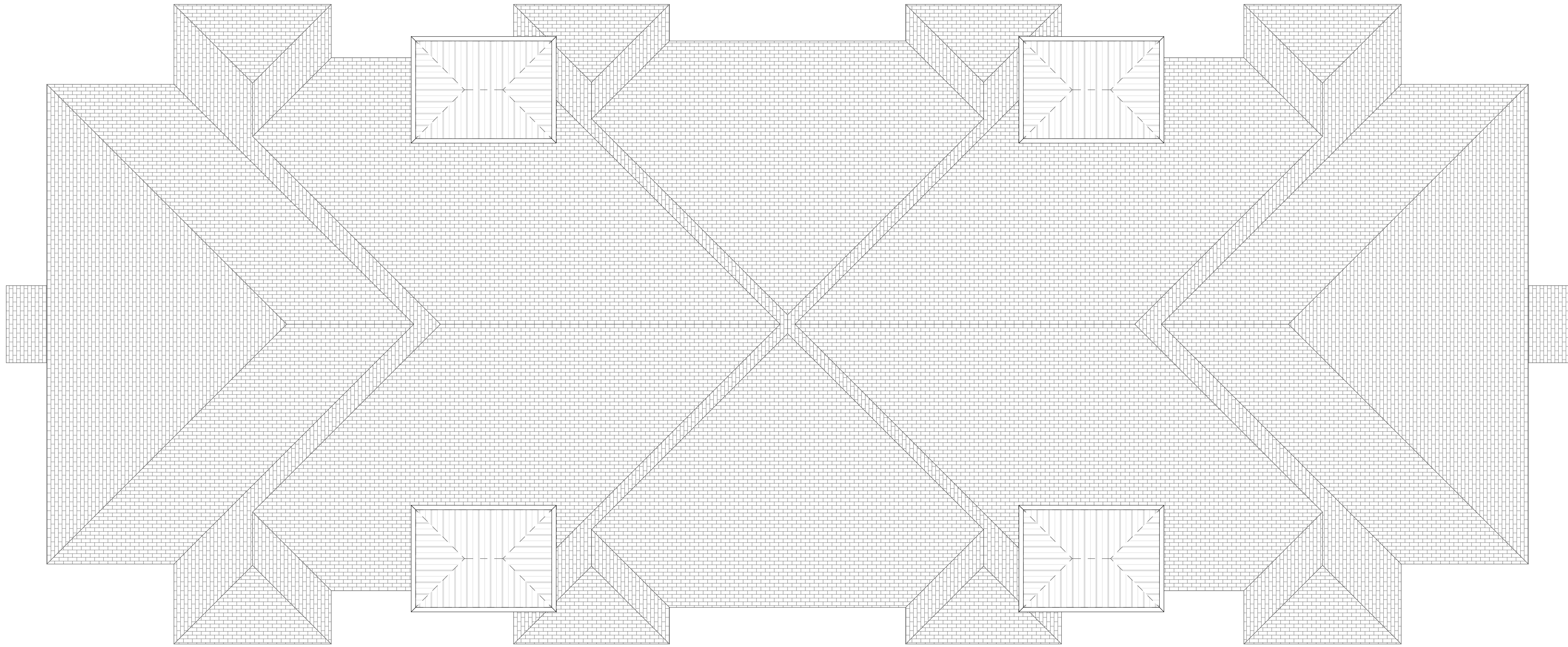
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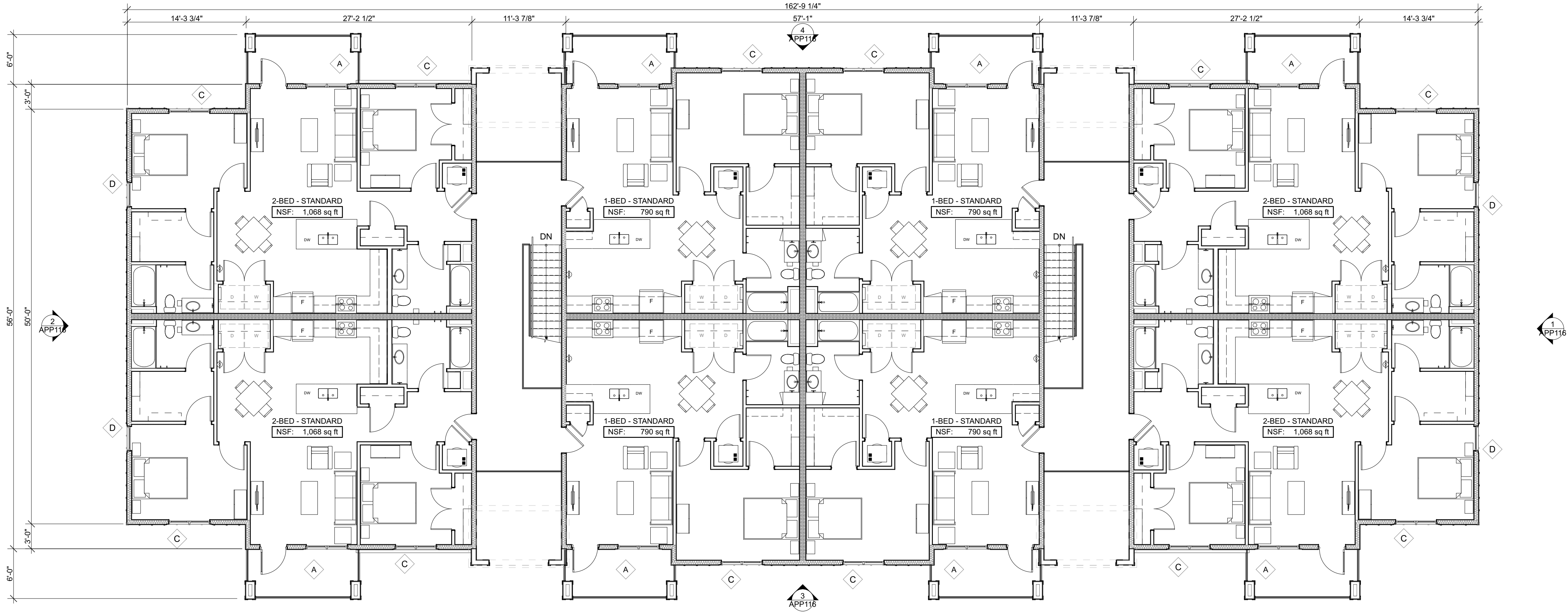
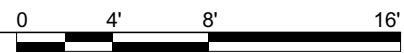
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2

BUILDING TYPE 2 - ROOF PLAN (BUILDINGS 1, 3, & 7)

SCALE: 1/8" = 1'-0"

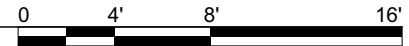


1

BUILDING TYPE 2 - THIRD FLOOR PLAN (BUILDINGS 1, 3, & 7)

SCALE: 1/8" = 1'-0"

THIRD FLOOR: 9,345 SF
TOTAL: 28,501 SF



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APP107 - OVERALL PLANS - BUILDING TYPE 2

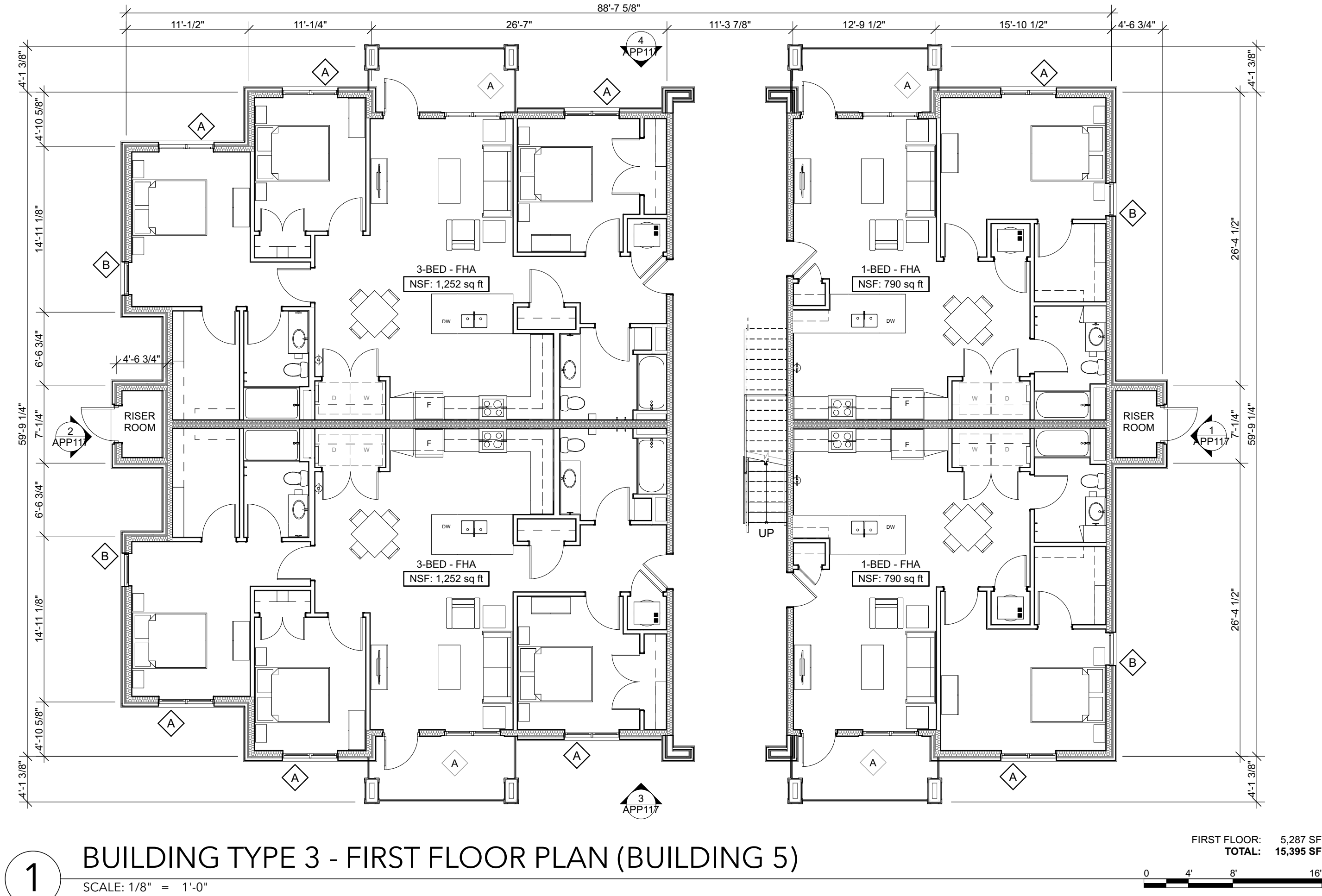
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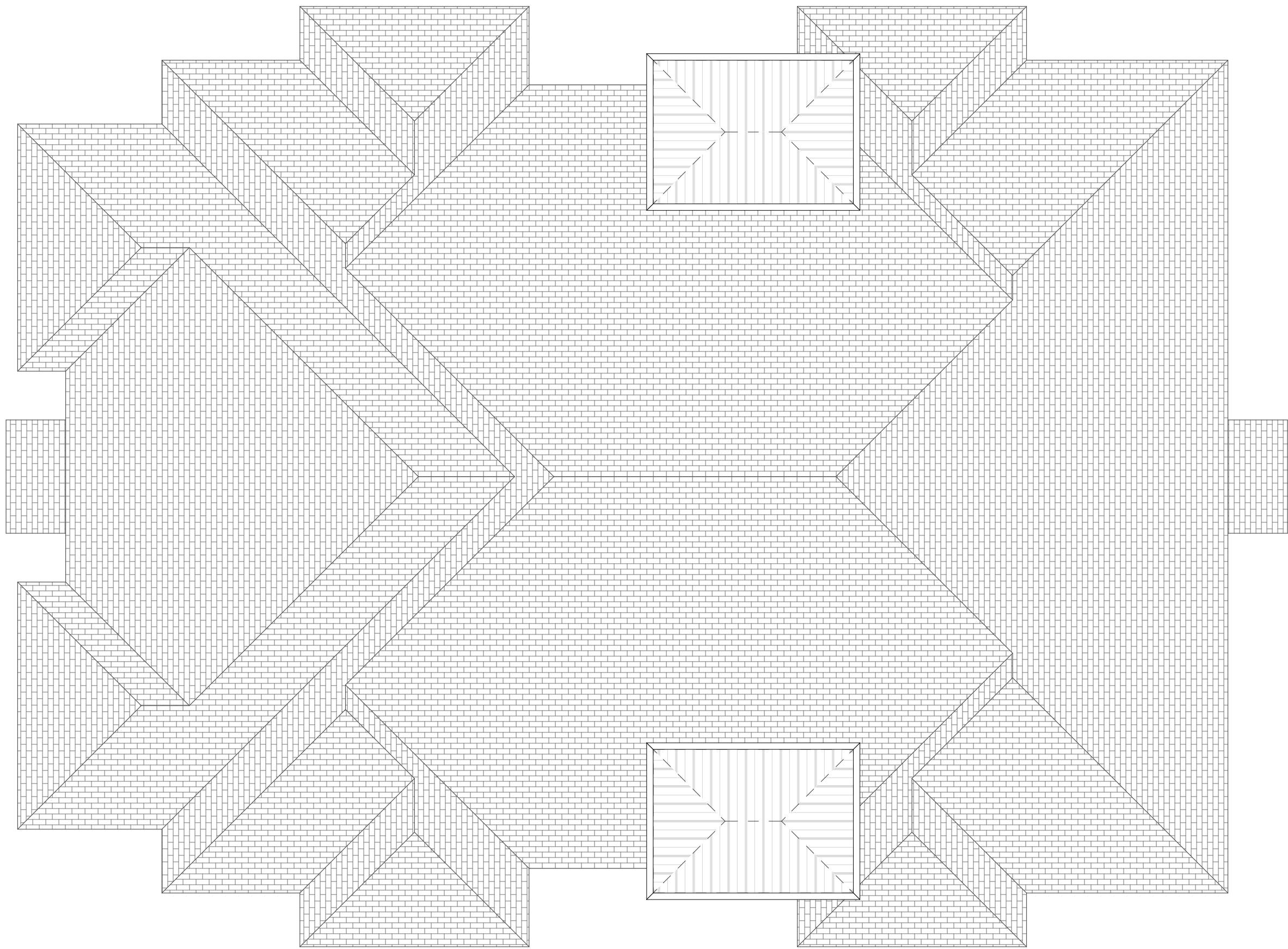


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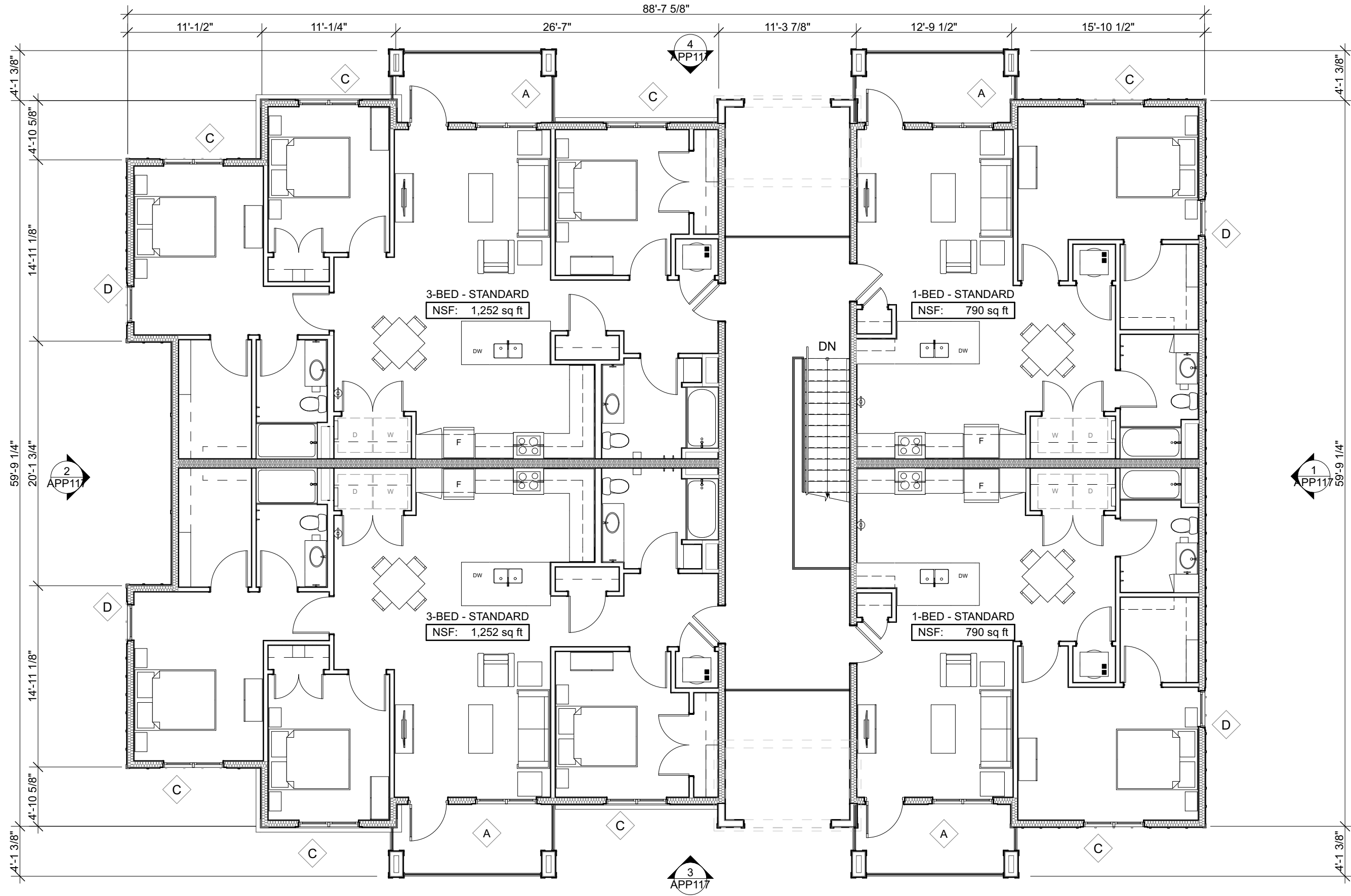
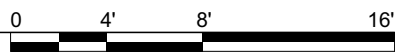
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2

BUILDING TYPE 3 - ROOF PLAN (BUILDING 5)

SCALE: 1/8" = 1'-0"

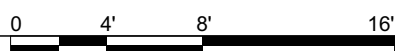


1

BUILDING TYPE 3 - THIRD FLOOR PLAN (BUILDING 5)

SCALE: 1/8" = 1'-0"

THIRD FLOOR: 5,054 SF
TOTAL: 15,395 SF



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APP109 - OVERALL PLANS - BUILDING TYPE 3

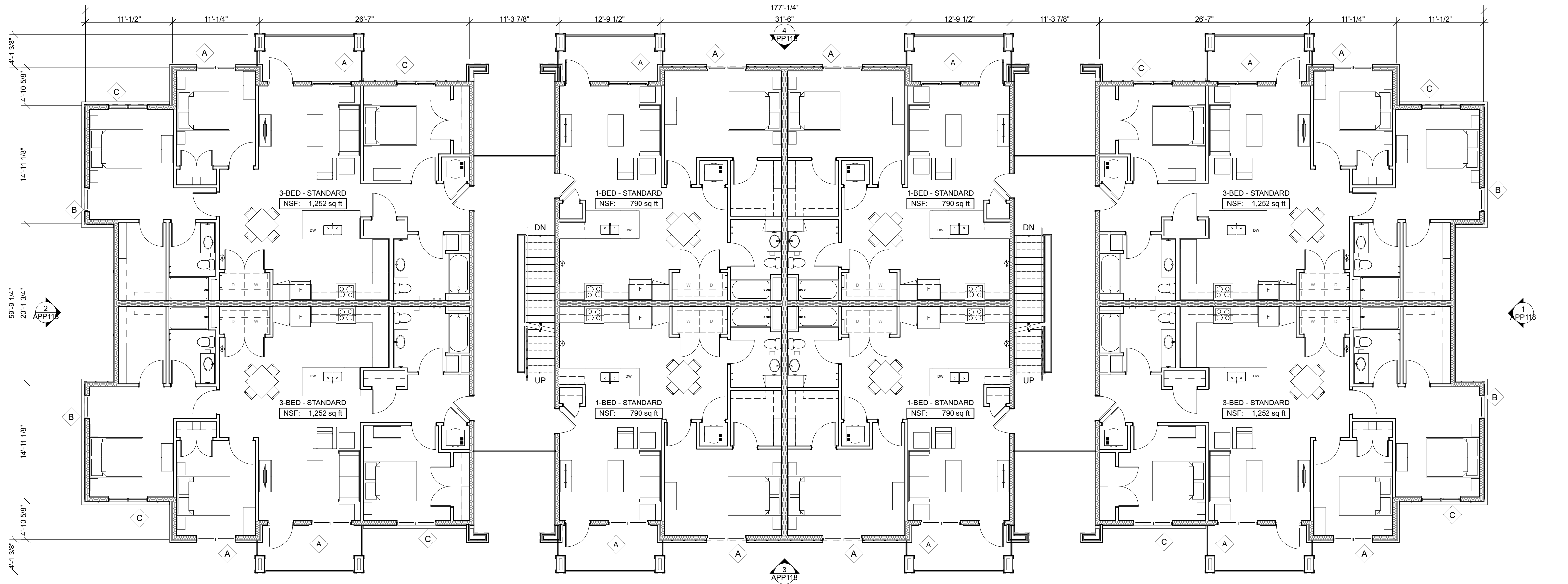
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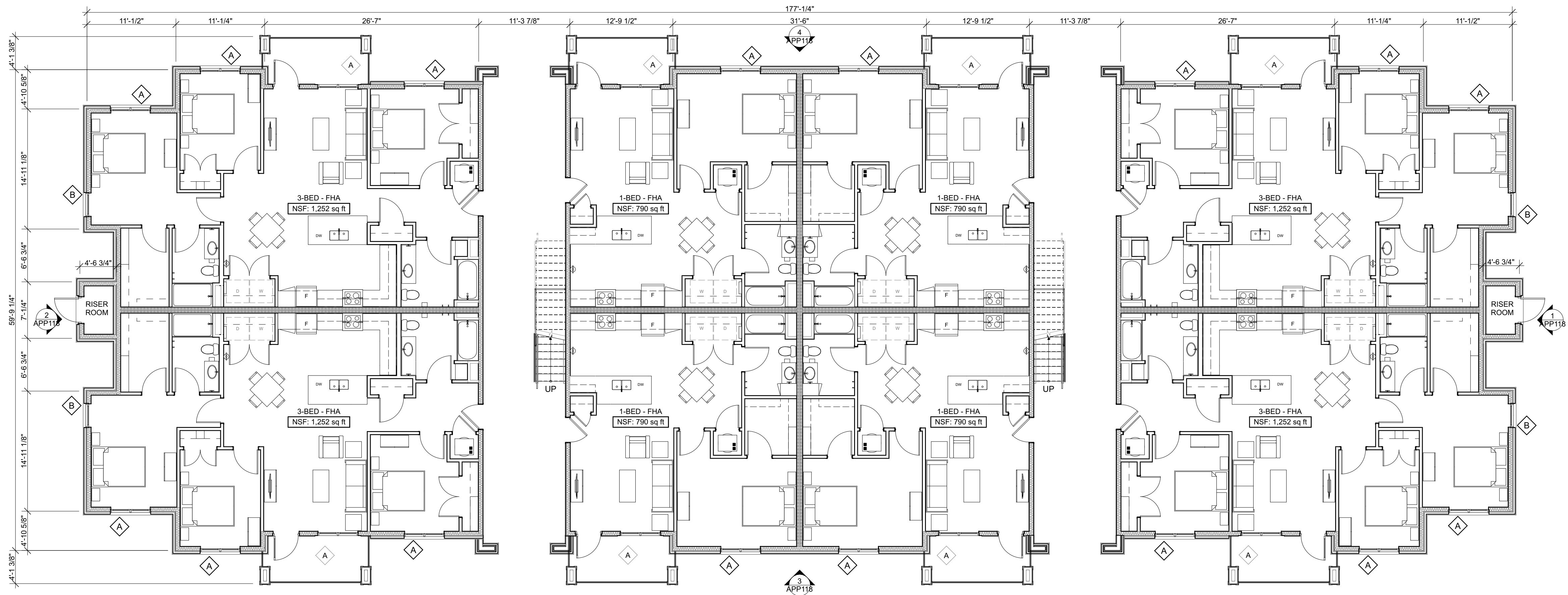


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2 BUILDING TYPE 4 - SECOND FLOOR PLAN (BUILDING 8)
SCALE: 1/8" = 1'-0"
SECOND FLOOR: 10,109 SF
TOTAL: 30,793 SF



1 BUILDING TYPE 4 - FIRST FLOOR PLAN (BUILDING 8)
SCALE: 1/8" = 1'-0"
FIRST FLOOR: 10,575 SF
TOTAL: 30,793 SF

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APP110 - OVERALL PLANS - BUILDING TYPE 4

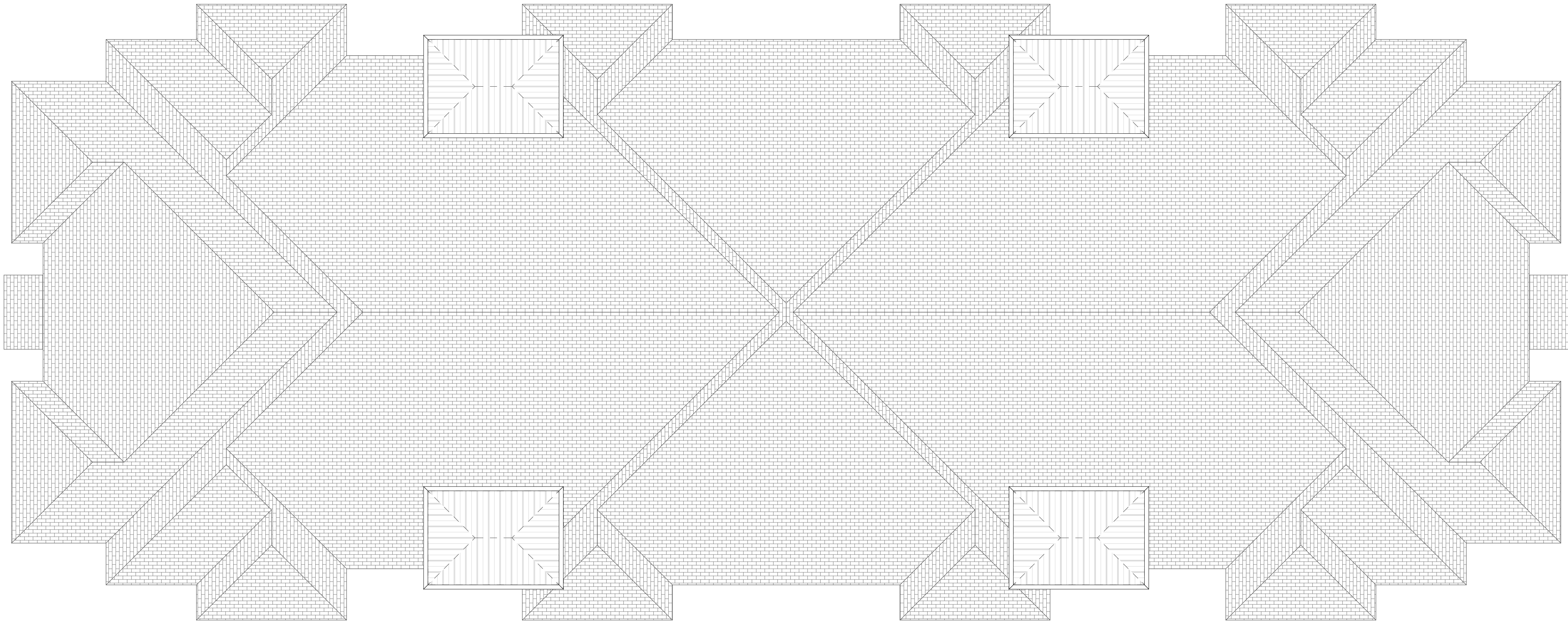
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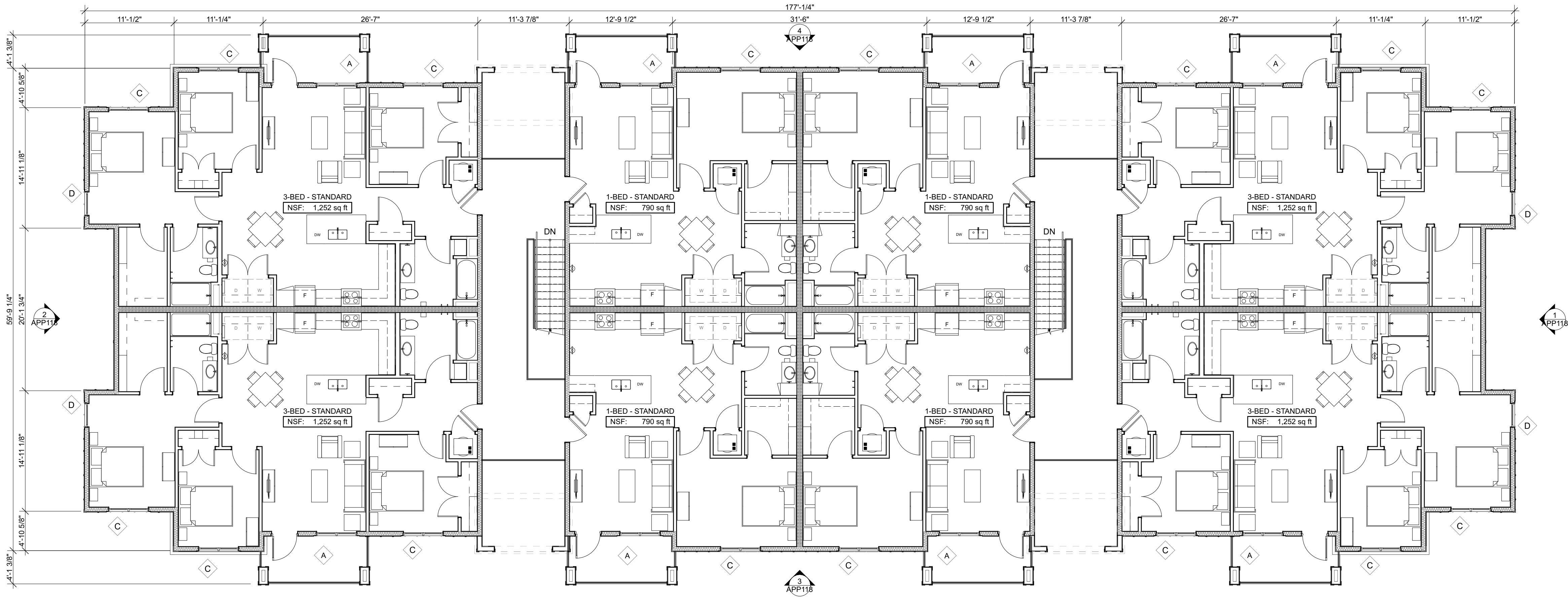


2

BUILDING TYPE 4 - ROOF PLAN (BUILDING 8)

SCALE: 1/8" = 1'-0"

0 4' 8' 16'



1

BUILDING TYPE 4 - THIRD FLOOR PLAN (BUILDING 8)

SCALE: 1/8" = 1'-0"

SECOND FLOOR: 10,109 SF
TOTAL: 30,793 SF

0 4' 8' 16'

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APP111 - OVERALL PLANS - BUILDING TYPE 4

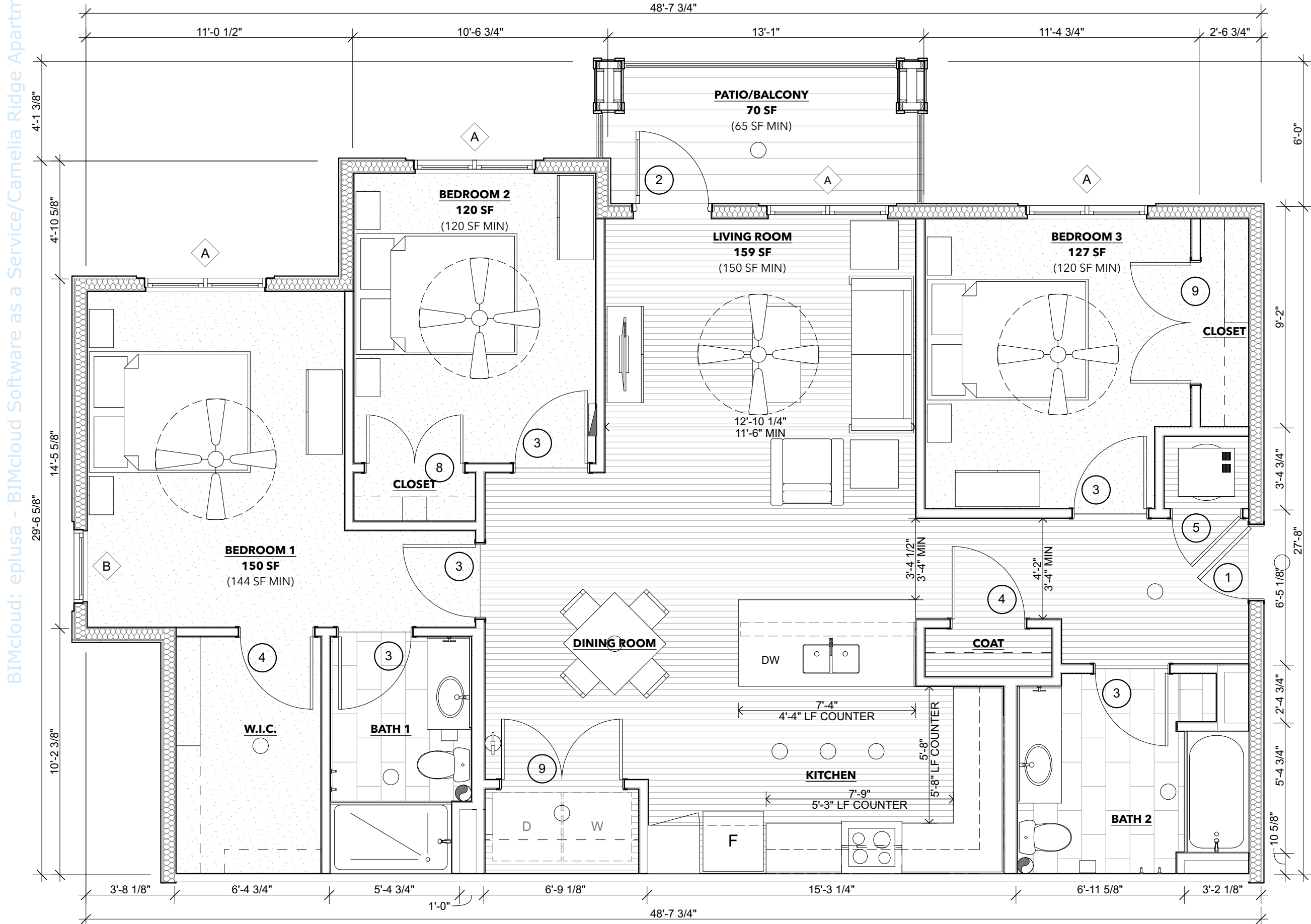
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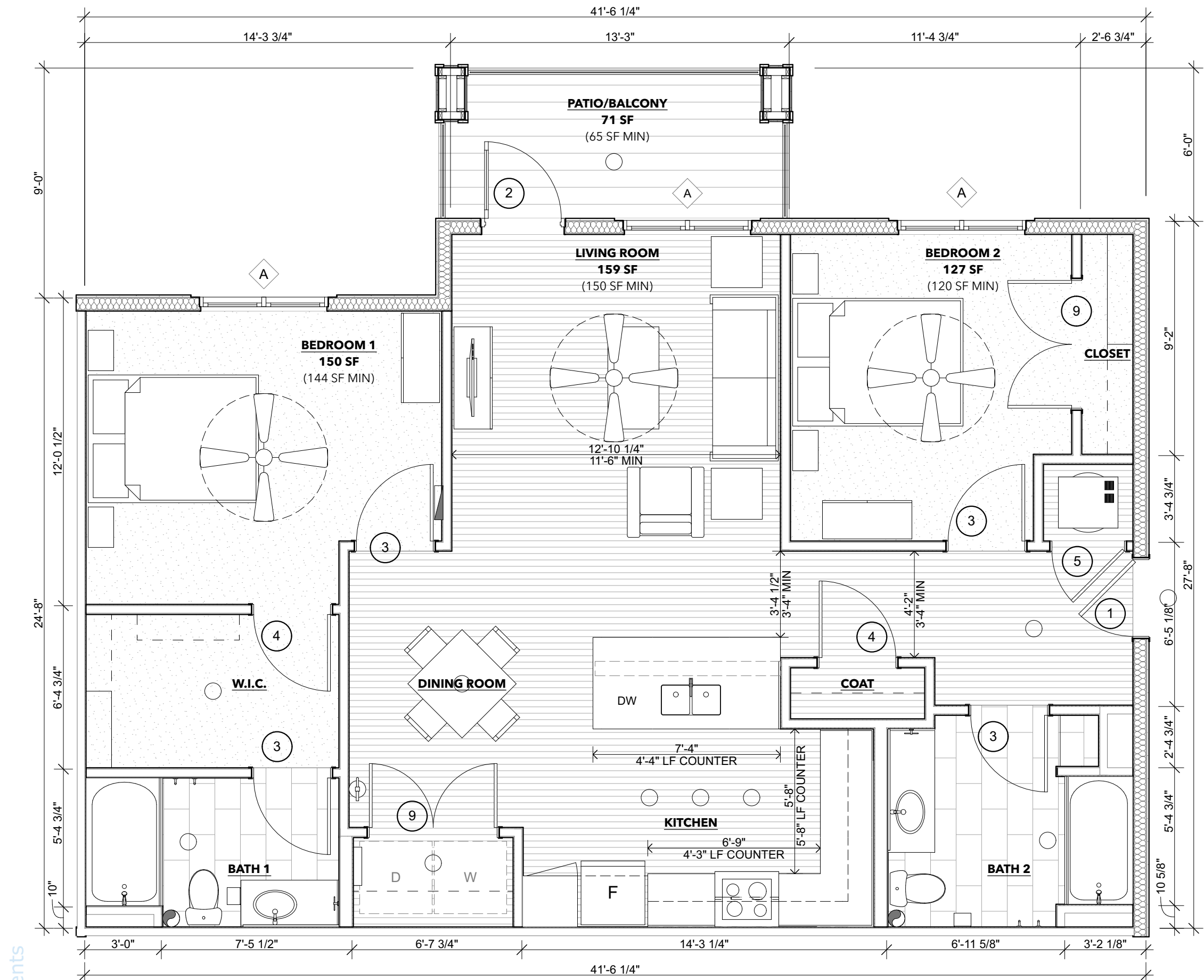


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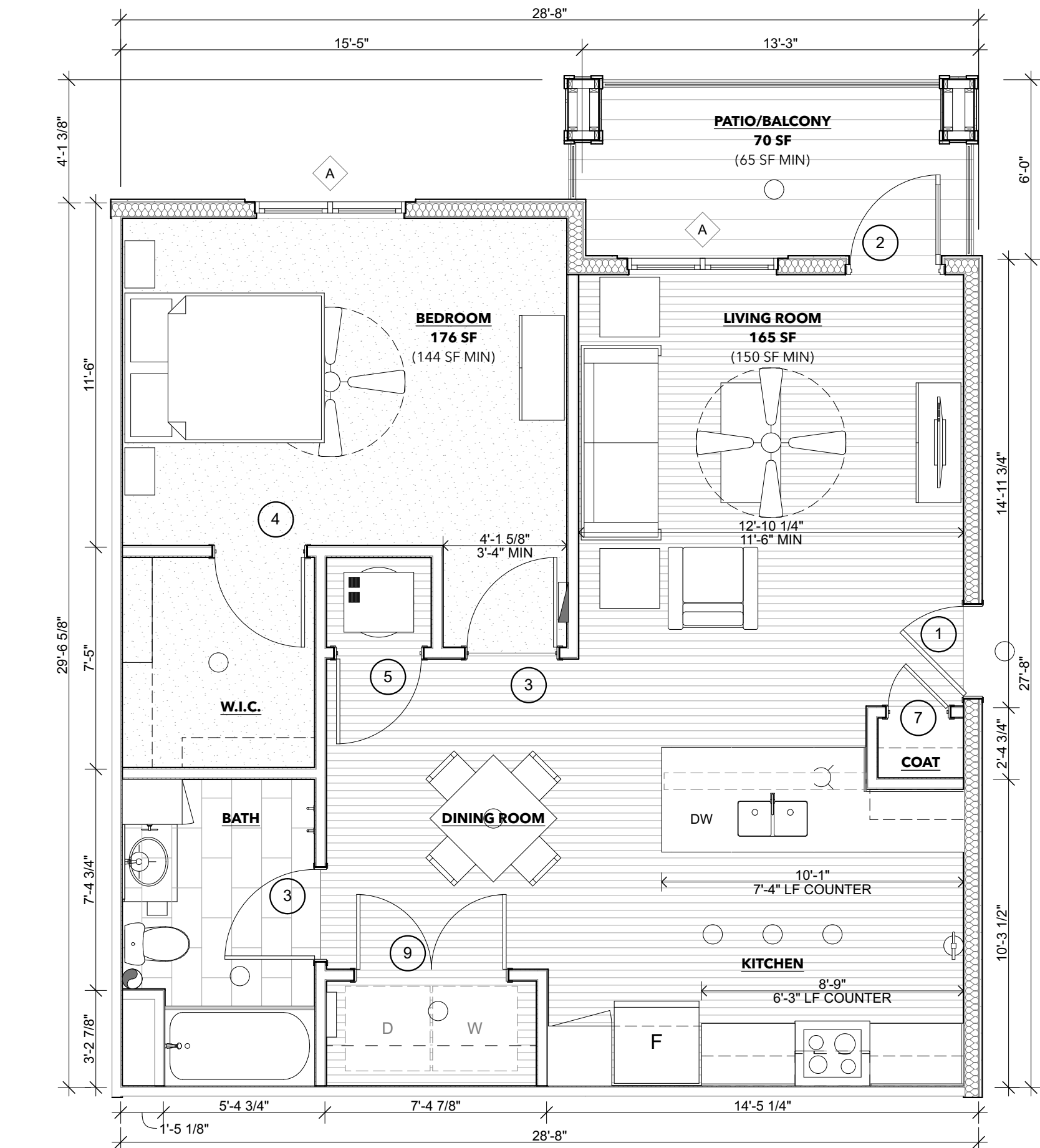
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3 3 BED / 2 BATH - TYPICAL
SCALE: 1/4" = 1'-0"
1,406 GSF
1,251 NSF
1,100 NSF MIN
1,280 NSF MAX



2 2 BED / 2 BATH - TYPICAL
SCALE: 1/4" = 1'-0"
1,212 GSF
1,067 NSF
850 NSF MIN
1,100 NSF MAX

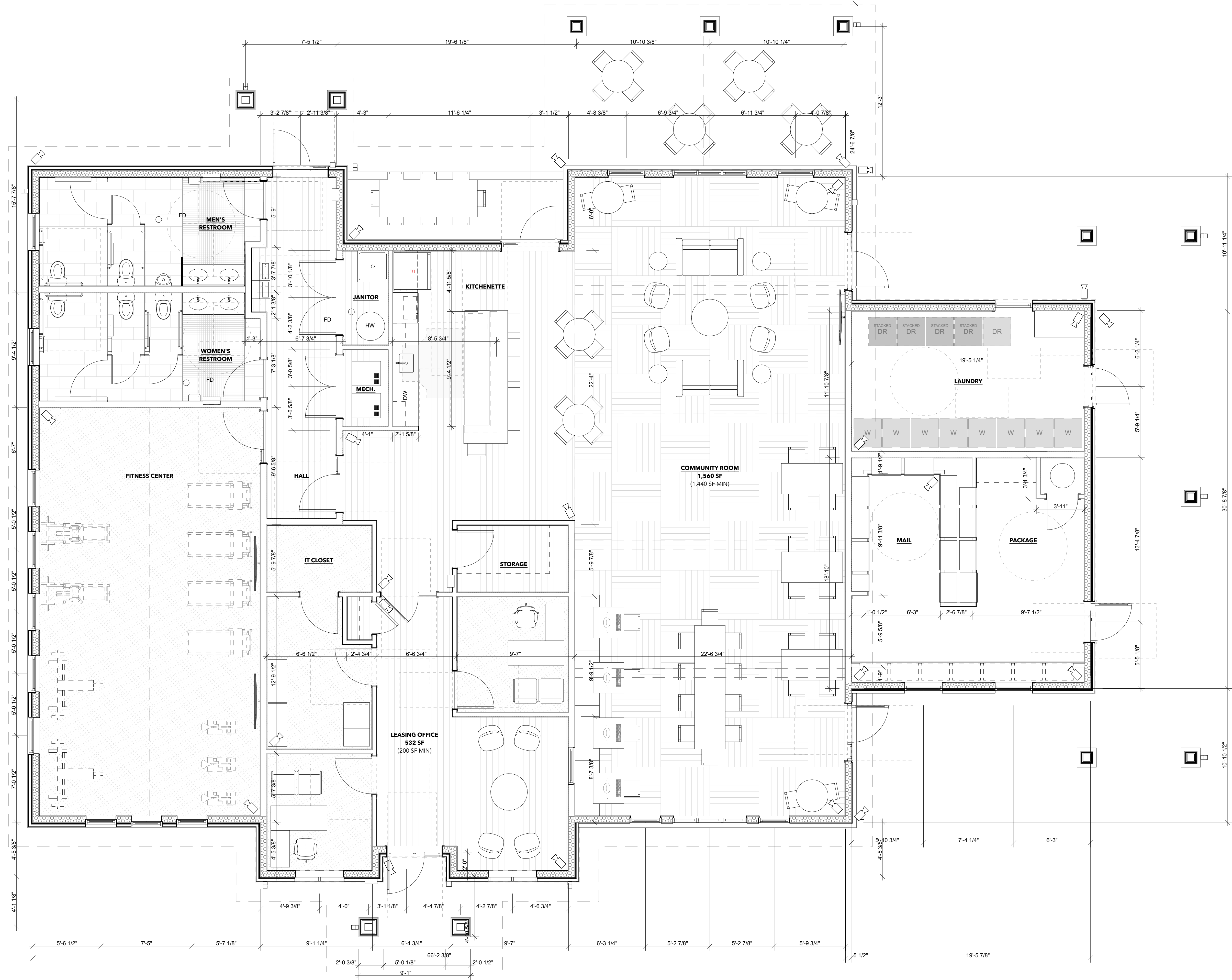


1 1 BED / 1 BATH - TYPICAL
SCALE: 1/4" = 1'-0"
922 GSF
790 NSF
750 NSF MIN
840 NSF MAX

- NOTES:**
- A) UNIT MINIMUM & MAXIMUM SIZE REQUIREMENTS (HEATED SQUARE FEET ONLY, AKA NSF) ARE AS FOLLOWS:
- | | | |
|-------|--------------|--------------|
| 1 BED | 750 SF MIN | 840 SF MAX |
| 2 BED | 850 SF MIN | 1,100 SF MAX |
| 3 BED | 1,100 SF MIN | 1,280 SF MAX |
- B) UNITS MUST INCLUDE THE FOLLOWING ROOMS:
- 1 BED (6 RM MIN): LIVING ROOM, DINING ROOM, FULL KITCHEN, ONE BEDROOM, ONE FULL BATHROOM, AND LAUNDRY ROOM
- 2 BED (7 RM MIN): LIVING ROOM, DINING ROOM, FULL KITCHEN, TWO BEDROOMS, ONE FULL BATHROOM, AND LAUNDRY ROOM
- 3 BED (9 RM MIN): LIVING ROOM, DINING ROOM, FULL KITCHEN, THREE BEDROOMS, TWO FULL BATHROOMS, AND LAUNDRY ROOM
- C) BEDROOM SIZE: THE PRIMARY BEDROOM IN EA. UNIT MUST BE AT LEAST 144 SF. ALL OTHER BEDROOMS MUST BE A MIN. OF 120 SF. *CLOSET SPACE EXCLUDED FROM SF
- D) EVERY BEDROOM MUST HAVE A CLOSET AT A MINIMUM OF 24" DEEP AND CONTAIN A 5'-0" LONG MINIMUM WIRE SHELF AND CLOSET ROD.
- E) LIVING ROOM SIZE: THE LIVING ROOM MUST BE AT LEAST 150 SF. W/ A MIN. DIMENSION OF 11'-6"
- F) FULL BATHROOM MUST CONTAIN A TOILET, VANITY W/ SINK, AND A 32" X 60" GASKETED FIBERGLASS TUB/SHOWER COMBINATION.
- G) TYPE A UNITS MUST HAVE THE ACCESSIBLE BEDROOM AND BATHROOM W/ (1) ROLL-IN SHOWER.
- H) ALL UNITS MUST HAVE A BALCONY, SUNROOM, OR PATIO. PATIOS AND BALCONIES MUST BE 65 SF MIN. INSIDE THE RAILING.
- I) INTERIOR HALLWAY WIDTH MUST BE 3'-4" (40") MINIMUM.
- J) LAUNDRY ROOMS MUST HAVE A WASHER AND DRYER HOOKUP IN EACH UNIT, A MINIMUM DEPTH OF 36" MEASURED FROM THE BACK OF THE DOOR AND ACCOMMODATE A FULL SIZED 30" WASHER AND DRYER ADJACENT TO EACH OTHER.
- K) MOISTURE RESISTANT GYPSUM BOARD MUST BE INSTALLED ON ALL CEILINGS AND WALLS OF BATHROOMS, ON ALL WALLS OF LAUNDRY ROOMS, MECHANICAL CLOSETS AND EXTERIOR STORAGE CLOSETS, AND BEHIND KITCHEN SINK BASE AND DISHWASHER.
- L) WATER RESISTANT GYPSUM BOARD OR EQUIVALENT SHALL BE PROVIDED BEHIND ANY TUB/SHOWER UNIT LOCATED ON AN EXTERIOR WALL.
- M) UPPER FLOOR PATIO/BALCONY AND BREEZEWAY MAY BE CONSTRUCTED UTILIZING CONCRETE SLABS OR 5/4" COMPOSITE MATERIALS FOR THE DECK. MUST BE CONSTRUCTED IN A MANNER THAT NO WOOD IS EXPOSED. CONCEALMENT OF WOOD SHALL BE WITH COMPOSITE MATERIALS SUCH AS PVC COATED COIL STOCK, VINYL 1X'S, COMPOSITE 1X'S, OR FIBER CEMENT TRIMS.
- N) ALL INTERIOR AND EXTERIOR MECHANICAL AND STORAGE CLOSETS MUST HAVE FINISHED FLOOR COVERINGS. INTERIOR MECHANICAL CLOSET MUCH BE RESILIENT FLOORING.
- O) EXTERIOR DOORS MUST BE ENERGY STAR METAL CLAD OR FIBERGLASS, BE A MINIMUM 3'-0" WIDE, HAVE A ROT PROOF JAMB.
- P) WINDOWS MUST BE ENERGY STAR RATED.
- Q) BLINDS MUST BE INSTALLED AT ALL WINDOWS.
- R) EA. KITCHEN MUST HAVE AT THE LEAST THE FOLLOWING MIN LF. OF CLEAR COUNTERTOP THAT ARE AT OR BELOW 36" MIN. IN HEIGHT AFF. EXCLUDING THE SINK AND RANGE:
- | | |
|-------|---------|
| 1 BED | 8.0 LF |
| 2 BED | 10.0 LF |
| 3 BED | 12.0 LF |
- S) ALL UNITS MUST HAVE AN 18CUFT MIN ENERGY STAR RATED FROST FREE REFRIG. FREEZER W/ ICE MAKER.
- T) ALL UNITS MUST HAVE AN ENERGY STAR RATED DISHWASHER AND BE INSTALLED BESIDE THE SINK BASE.
- U) ALL UNITS MUST HAVE OVER THE RANGE MICROWAVE.
- V) ALL UNITS MUST HAVE A SLIDE IN RAGE THAT IS AT LEAST 30" WIDE W/ ANTI-TIP DEVICE INSTALLED. A BACKSPLASH PANEL MUST BE INSTALLED BEHIND THE COOKTOP AND COVER THE ENTIRE WALL BEHIND THE COOKTOP.
- W) ALL UNITS MUST HAVE A FIRE STOP OR COMPARABLE EXTINGUISHING SYSTEM OVER THE STOVE. ALTERNATIVELY, THE RANGE MUST HAVE "SMARTBURNER" ELEMENTS INSTALLED IN THE RANGE.
- X) EACH UNIT EQUIPPED WITH A 5LB ABC RATED DRY CHEMICAL EXTINGUISHER READILY ACCESSIBLE IN THE KITCHEN.
- Y) 24" WIDE PANTRY CABINET, SAME MANUFACTURER AS KITCHEN CABINETS, OR A PANTRY CLOSET WITH A 24" INTERIOR DOOR AND A 24" DEEP MINIMUM DIMENSION IS REQUIRED AT KITCHENS.
- Z) FLUORESCENT OR LED LIGHTING IS REQUIRED IN THE KITCHEN.
- AA) THE AISLE WIDTH BETWEEN CABINETS AND/OR APPLIANCES IS 42" MINIMUM.
- BB) VANITIES / CABINETS SHALL BE PROVIDED IN ALL UNITS AND MUST BE 36" MIN.
- CC) ALL FULL BATHROOMS MUST HAVE: CEILING LIGHT AND EXHAUST FAN ON THE SAME SWITCH AND MUST PROVIDE ADEQUATE LIGHTING TO TUB / SHOWER. VANITY LIGHT MUST BE PROVIDED AND BE ON A SEPARATE SWITCH.
- DD) WATER CLOSETS MUST BE CENTERED 18" MIN FROM SIDEWALLS, VANITIES/LAVATORIES, AND BATH TUBS AND BE CLEARLY MARKED ON THE PLANS.

CLUBHOUSE FLOOR PLAN

SCALE: 1/4" = 1'-0"



- NOTES:**
- A) COMMUNITY BUILDING MINIMUM SIZE REQUIREMENT: 1,200 SF
- MUST INCLUDE COMMUNITY MULTI-PURPOSE ROOM
 - MUST INCLUDE ADA COMPLIANT HANDICAPPED TOILET FACILITIES
 - MUST INCLUDE KITCHENETTE
 - MUST INCLUDE EXERCISE ROOM
 - MUST INCLUDE TENANT COMPUTER ROOM
- B) COMMUNITY BUILDING MAY INCLUDE THE FOLLOWING:
- LEASING OFFICE (200 SF MINIMUM)
 - LAUNDRY ROOM(S)
 - STORAGE/MAINTENANCE ROOM(S)
- C) SCREENED PORCHES, SUNROOMS, AND COVERED PATIOS MAY BE INCORPORATED INTO THE COMMUNITY BUILDING, BUT THEIR SF WILL NOT BE INCLUDED AS PART OF THE SF MINIMUM.
- D) ALL PRIMARY ENTRANCE DOORS IN THE COMMUNITY BUILDING AND SITE AMENITIES MUST BE EITHER HALF LITE OR FULL VIEW COMMERCIAL GRADE GLASS U.N.O. THIS DOES NOT INCLUDE THE MAINTENANCE OR STORAGE ROOM DOORS. BLINDS ARE PROHIBITED ON THESE DOORS.
- E) COMMUNITY MULTIPURPOSE ROOM:
- MUST BE ADEQUATELY FINISHED.
 - MUST CONTAIN A MINIMUM OF 8 SF FOR EACH UNIT, ROUNDED UP FOR A TOTAL OF 1,000 SF, NEVER BEING LESS THAN 250 SF REGARDLESS OF DEVELOPMENTS TOTAL UNITS.
- F) KITCHENETTE:
- MINIMUM OF 6 LINEAR FEET OF COUNTER TOP
 - MUST HAVE REFRIGERATOR, MICROWAVE, SINK
 - MUST HAVE 5LB FIRE EXTINGUISHER
- G) EXERCISE ROOM:
- MINIMUM THREE (3) LOW IMPACT CARDIO MACHINES
- H) TENANT COMPUTER ROOM:
- MUST BE EQUIPPED WITH TWO (2) NEW, CURRENT, AND UPDATED COMPUTER SYSTEMS
 - MUST INCLUDE A SCANNER AND PRINTER
 - COMPUTERS MUST BE CONNECTED TO A HIGH-SPEED INTERNET SERVICE
 - ALL EQUIPMENT MUST BE KEPT CURRENT FOR THE ENTIRE COMPLIANCE PERIOD
 - ALL EXPENSES ASSOCIATED WITH SUPPLIES, UPDATES, INTERNET SERVICE, AND REPLACEMENT OF THE COMPUTER EQUIPMENT IS THE RESPONSIBILITY OF THE DEVELOPMENT.
- I) LAUNDRY FACILITIES (REQUIRED FOR ALL DEVELOPMENTS NOT PROVIDING WASHERS AND DRYERS IN ALL RENTAL UNITS):
- ENTRY INTO THE LAUNDRY FACILITY MUST BE AVAILABLE AT ALL TIMES AND DAYS.
 - ENTRANCE MUST HAVE A MINIMUM ROOF COVERING OF 20 SF AND HAVE ADEQUATE LIGHTING FUNCTIONING FROM DUSK TO DAWN.
 - PRIMARY ENTRANCE DOOR TO THE LAUNDRY FACILITIES MUST BE FULL VIEW / FULL LENGTH GLASS TO ALLOW RESIDENTS A VIEW OF THE OUTSIDE/INSIDE. BLINDS ARE PROHIBITED.
 - DEVELOPMENTS W/ 100+ UNITS MUST PROVIDE (7) WASHERS AND (7) DRYERS.
 - MUST CONTAIN ADEQUATE SEATING.
 - A WORKING SURFACE FOR FOLDING CLOTHES MUST BE INSTALLED. 24" X 48" AND 8 SF MINIMUM. MUST PROVIDE 8 SF PER EVERY TWELVE WASHER/DRYERS PROVIDED.
 - ONE OF EVERY TWELVE WASHER/DRYERS PROVIDED MUST BE ADA COMPLIANT AND ACCESSIBLE WITH ONE WORKING SURFACE ALSO BEING ADA COMPLIANT AND ACCESSIBLE.
- J) POSTAL FACILITIES (IF NOT LOCATED WITHIN THE BUILDING):
- MUST HAVE A ROOF COVERING WHICH OFFERS RESIDENTS AMPLE PROTECTION FROM THE RAIN WHILE GATHERING MAIL
 - MUST BE LOCATED ADJACENT TO AVAILABLE PARKING AND SITED SUCH THAT TENANTS WILL NOT OBSTRUCT TRAFFIC WHILE COLLECTING MAIL
 - MUST HAVE ADEQUATE LIGHTING FUNCTIONING FROM DUSK TO DAWN
- K) OFFICE AND MAINTENANCE ROOM:
- MUST HAVE AN OFFICE ONSITE OF 200 SF MINIMUM
 - MUST HAVE A MAINTENANCE ROOM OF 200 SF MINIMUM
 - MUST CONTAIN ADA COMPLIANT TOILET FACILITIES
 - MUST BE CLEARLY MARKED AND VISIBLE WITH EXTERIOR SIGNAGE ON OR CLOSE TO BUILDING
- L) REQUIRED PLAYGROUND AMENITY (FAMILY DEVELOPMENTS ONLY)
- EQUIPMENT MUST BE OF COMMERCIAL DESIGN AND QUALITY
 - ALL PLAYGROUNDS MUST EACH CONTAIN AT LEAST FOUR PLAY STATIONS/ACTIVITIES
 - PLAYGROUNDS MUST BE LOCATED AWAY FROM AREAS OF FREQUENT AUTOMOBILE TRAFFIC AND SITUATED SUCH THAT THE PLAY AREA IS VISIBLE FROM THE OFFICE AND MAXIMUM NUMBER OF RESIDENTIAL UNITS
 - PLAYGROUND MUST BE ACCESSIBLE TO PERSONS WITH MOBILITY IMPAIRMENTS
 - MUST INCLUDE A BENCH THAT IS WEATHER RESISTANT, METAL OR COMPOSITE, HAVE A BACK, AND BE ANCHORED PERMANENTLY

APP113 - ENLARGED PLANS - CLUBHOUSE

DEVELOPER 6/19/25

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4,134 GSF
3,981 NSF
1,200 SF MIN

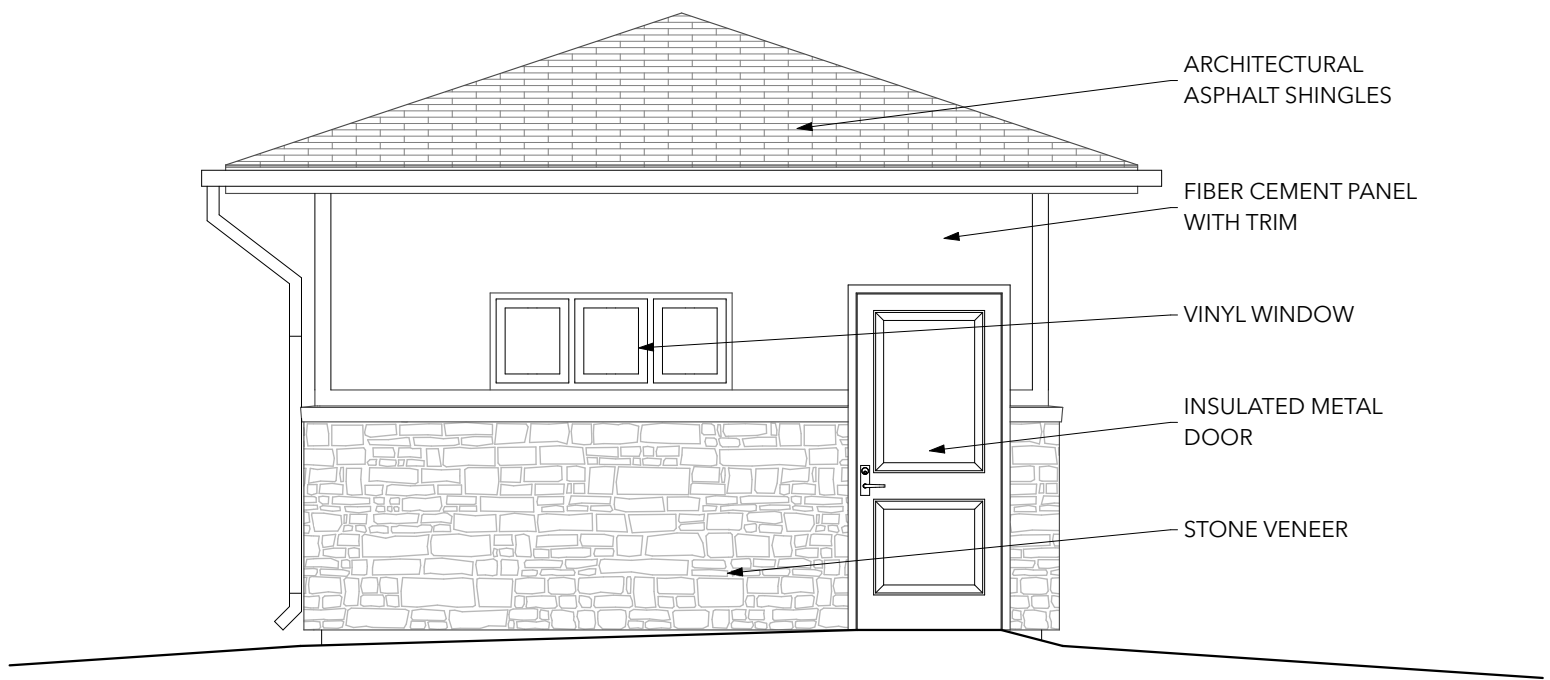
CAMELIA RIDGE APARTMENTS

HARTSVILLE, SC

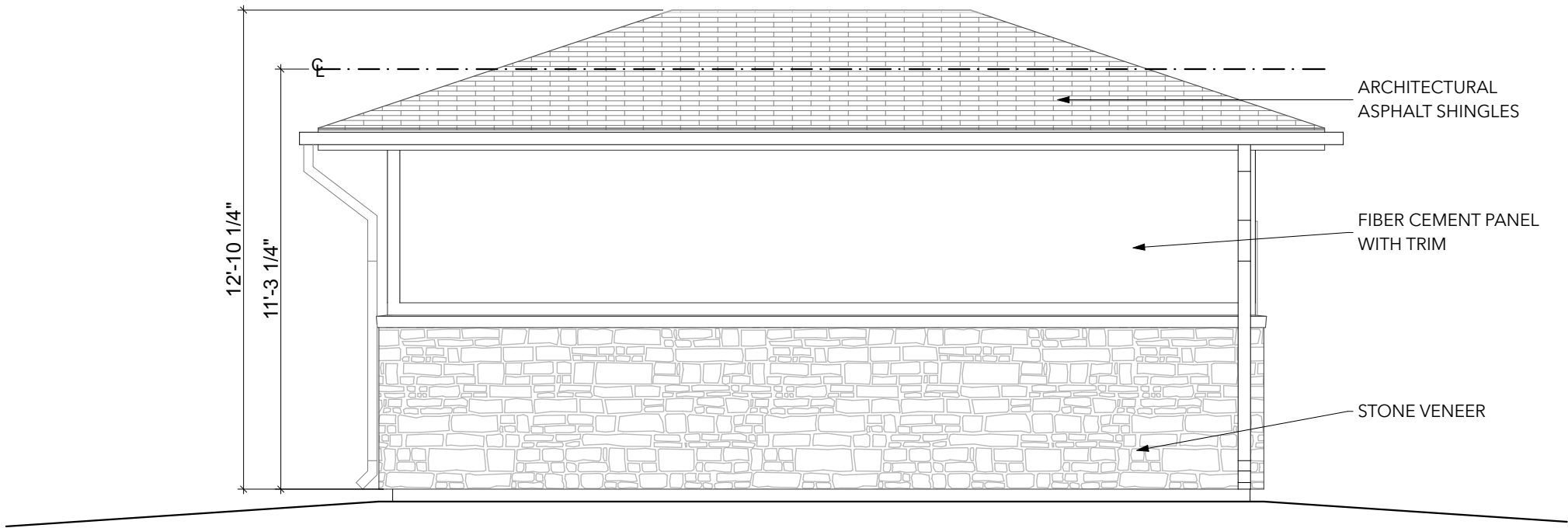
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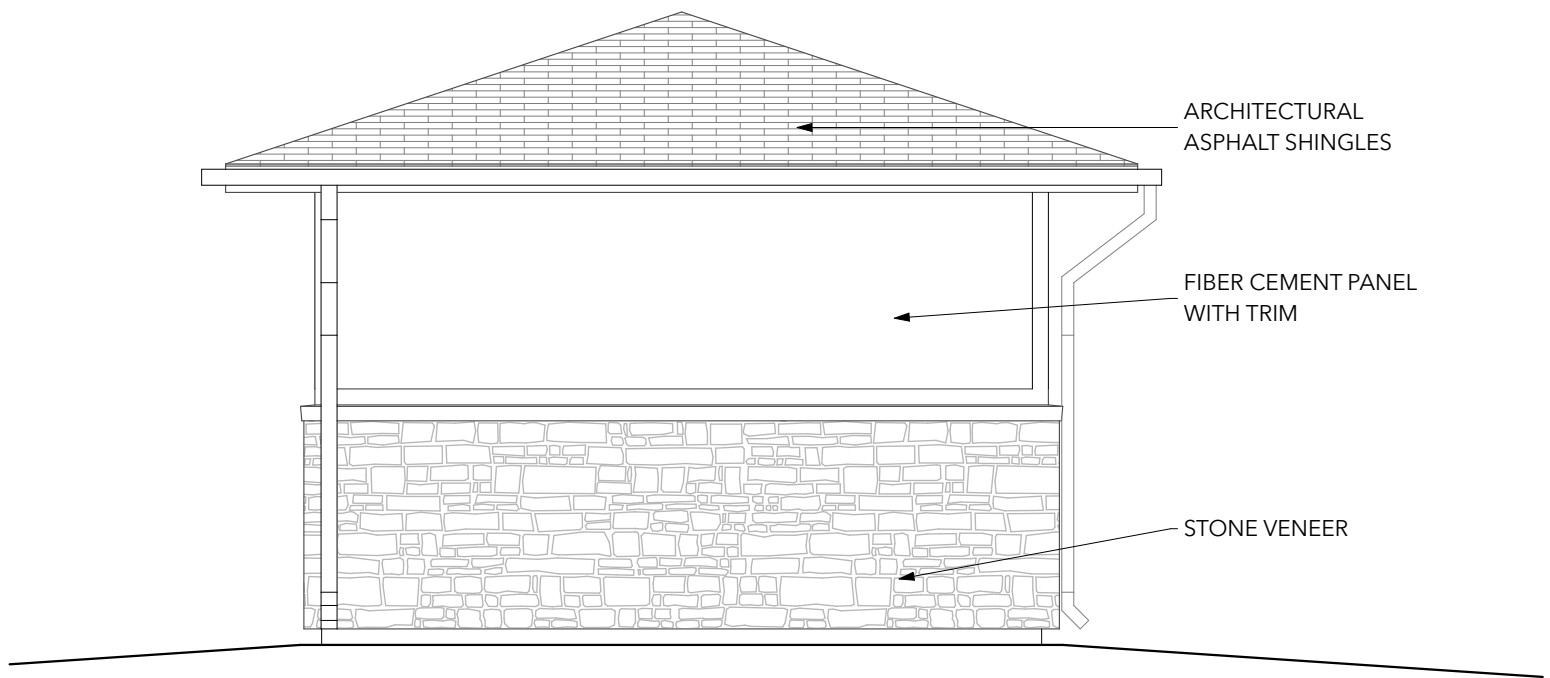
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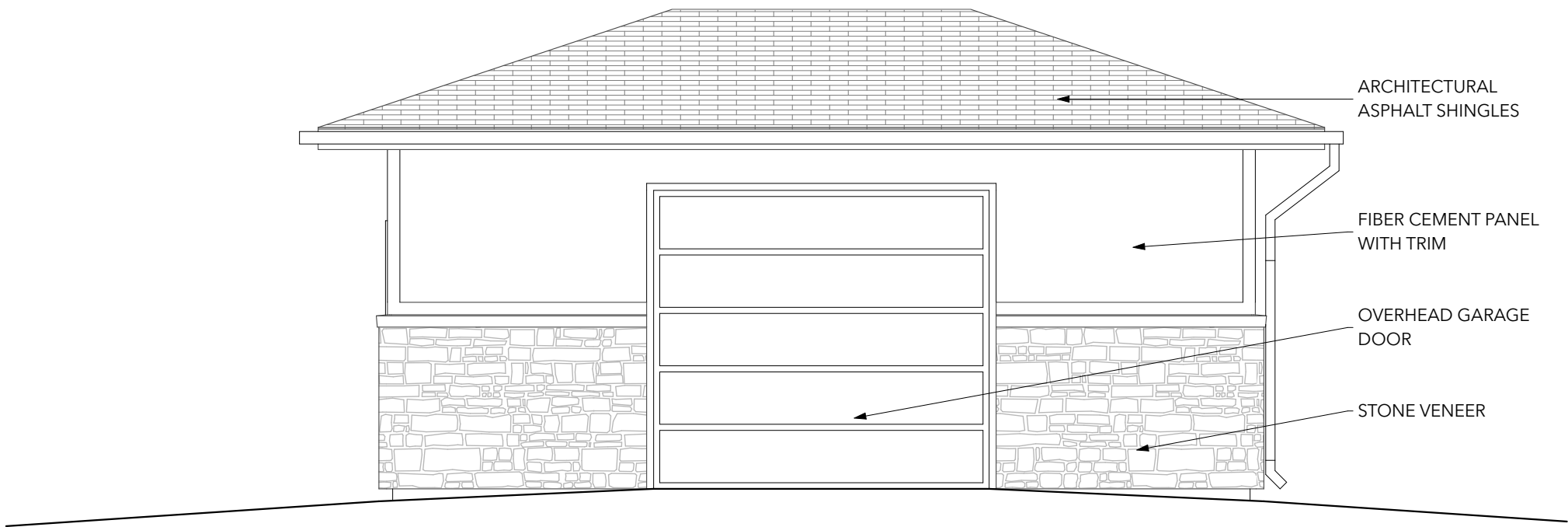
6 MAINTENANCE SIDE 2 ELEVATION
SCALE: 1/4" = 1'-0"
SIDING: 35%
GLAZING: 25%
MASONRY: 40%



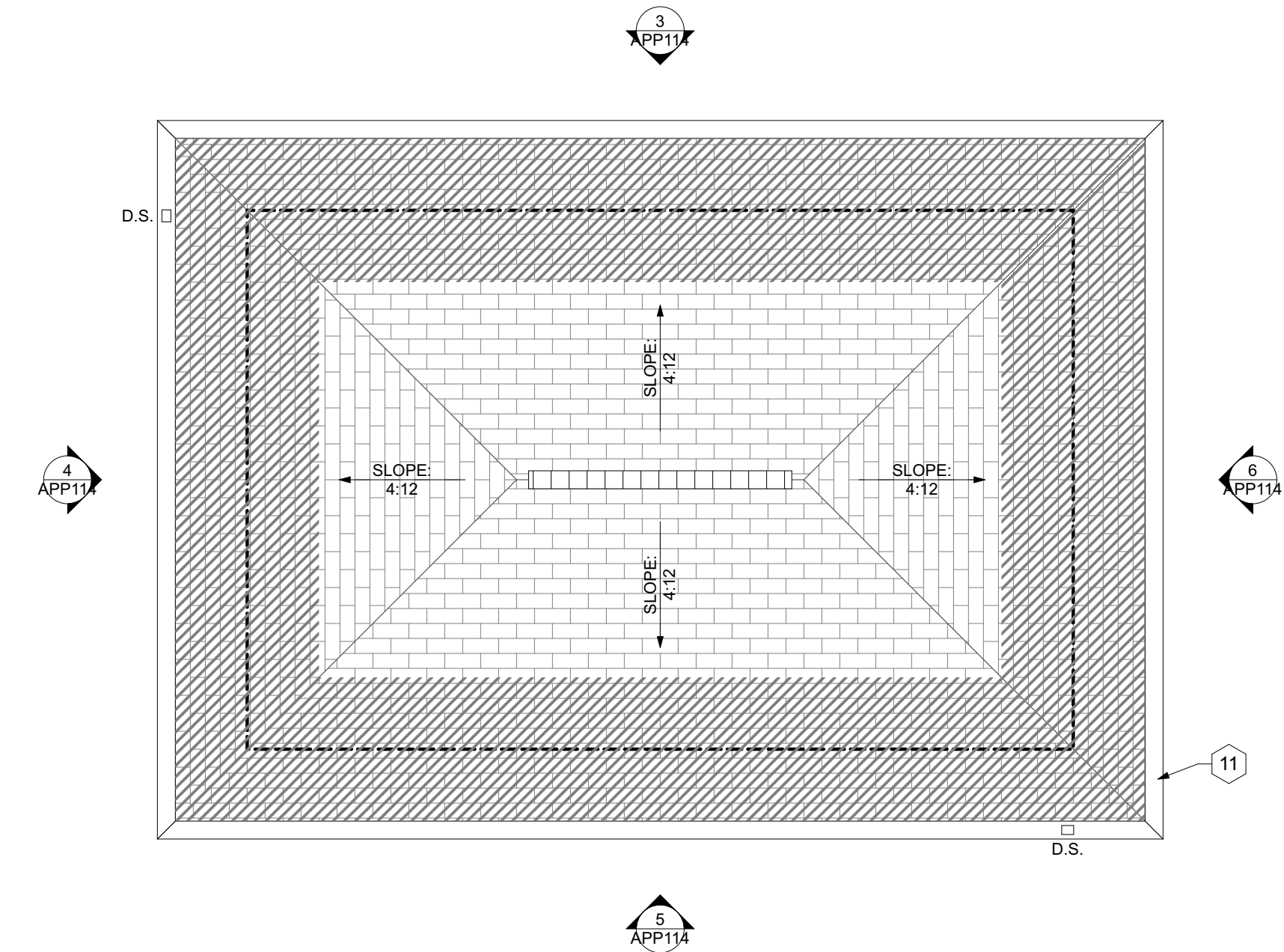
5 MAINTENANCE REAR ELEVATION
SCALE: 1/4" = 1'-0"
SIDING: 48%
GLAZING: 36%
MASONRY: 52%



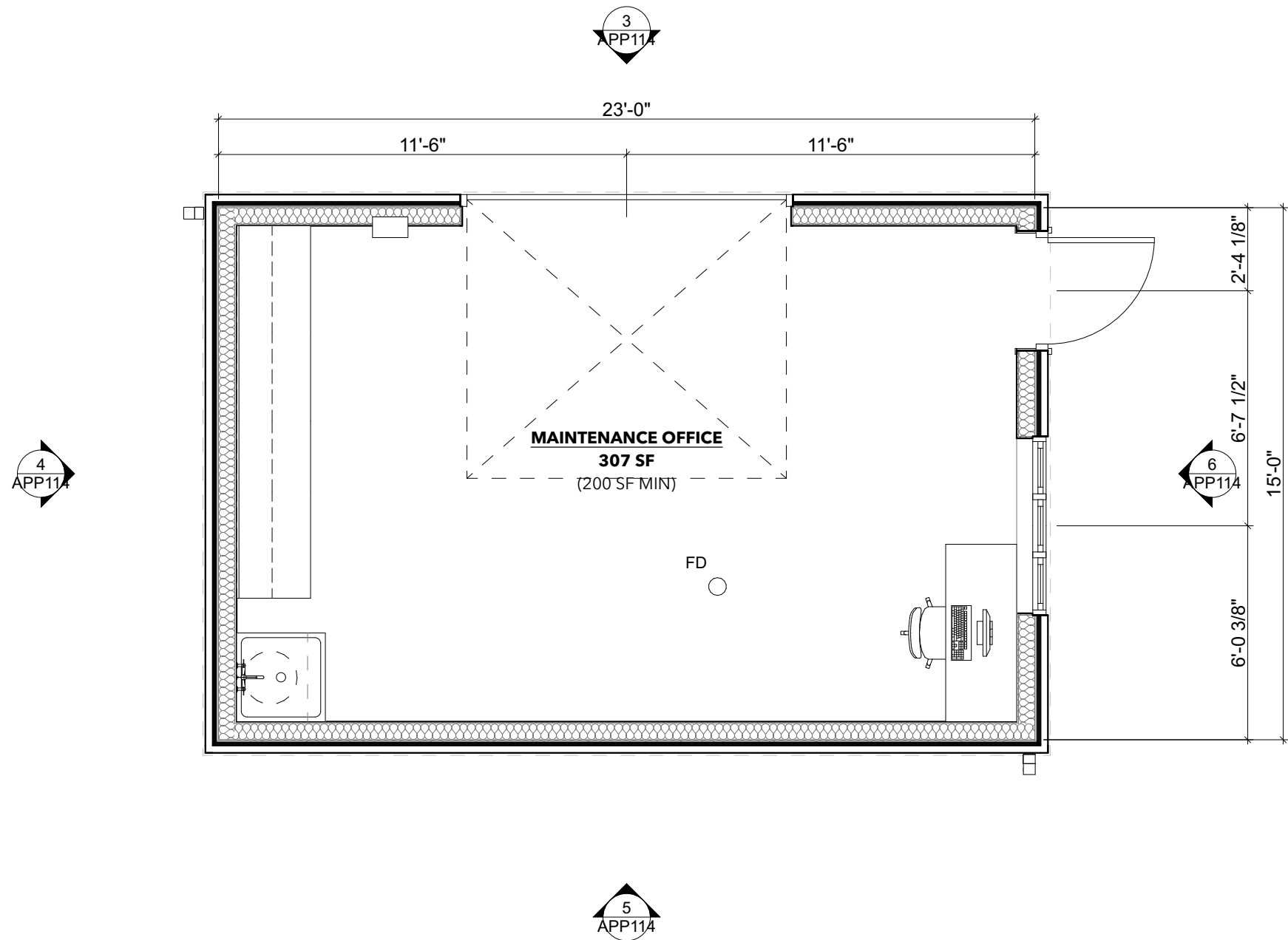
4 MAINTENANCE SIDE 1 ELEVATION
SCALE: 1/4" = 1'-0"
SIDING: 48%
GLAZING: 52%
MASONRY: 32%



3 MAINTENANCE FRONT ELEVATION
SCALE: 1/4" = 1'-0"
SIDING: 32%
GLAZING: 36%
MASONRY: 32%



2 MAINTENANCE BUILDING ROOF PLAN
SCALE: 1/4" = 1'-0"



1 MAINTENANCE BUILDING FLOOR PLAN
SCALE: 1/4" = 1'-0"

345 GSF
307 NSF
200 SF MIN

NOTES:

- A) COMMUNITY BUILDING MINIMUM SIZE REQUIREMENT: 1,200 SF
- MUST INCLUDE COMMUNITY MULTI-PURPOSE ROOM
 - MUST INCLUDE ADA COMPLIANT HANDICAPPED TOILET FACILITIES
 - MUST INCLUDE KITCHENETTE
 - MUST INCLUDE EXERCISE ROOM
 - MUST INCLUDE TENANT COMPUTER ROOM
- B) COMMUNITY BUILDING MAY INCLUDE THE FOLLOWING:
- LEASING OFFICE (200 SF MINIMUM)
 - LAUNDRY ROOM(S)
 - STORAGE/MAINTENANCE ROOM(S)
- C) SCREENED PORCHES, SUNROOMS, AND COVERED PATIOS MAY BE INCORPORATED INTO THE COMMUNITY BUILDING, BUT THEIR SF WILL NOT BE INCLUDED AS PART OF THE SF MINIMUM.
- D) ALL PRIMARY ENTRANCE DOORS IN THE COMMUNITY BUILDING AND SITE AMENITIES MUST BE EITHER HALF LITE OR FULL VIEW COMMERCIAL GRADE GLASS U.N.O. THIS DOES NOT INCLUDE THE MAINTENANCE OR STORAGE ROOM DOORS. BLINDS ARE PROHIBITED ON THESE DOORS.
- E) COMMUNITY MULTIPURPOSE ROOM:
- MUST BE ADEQUATELY FINISHED.
 - MUST CONTAIN A MINIMUM OF 8 SF FOR EACH UNIT, ROUNDED UP FOR A TOTAL OF 1,000 SF, NEVER BEING LESS THAN 250 SF REGARDLESS OF DEVELOPMENTS TOTAL UNITS.
- F) KITCHENETTE:
- MINIMUM OF 6 LINEAR FEET OF COUNTER TOP
 - MUST HAVE REFRIGERATOR, MICROWAVE, SINK
 - MUST HAVE 5LB FIRE EXTINGUISHER
- G) EXERCISE ROOM:
- MINIMUM THREE (3) LOW IMPACT CARDIO MACHINES
- H) TENANT COMPUTER ROOM:
- MUST BE EQUIPPED WITH TWO (2) NEW, CURRENT, AND UPDATED COMPUTER SYSTEMS
 - MUST INCLUDE A SCANNER AND PRINTER
 - COMPUTERS MUST BE CONNECTED TO A HIGH-SPEED INTERNET SERVICE
 - ALL EQUIPMENT MUST BE KEPT CURRENT FOR THE ENTIRE COMPLIANCE PERIOD
 - ALL EXPENSES ASSOCIATED WITH SUPPLIES, UPDATES, INTERNET SERVICE, AND REPLACEMENT OF THE COMPUTER EQUIPMENT IS THE RESPONSIBILITY OF THE DEVELOPMENT.
- I) LAUNDRY FACILITIES (REQUIRED FOR ALL DEVELOPMENTS NOT PROVIDING WASHERS AND DRYERS IN ALL RENTAL UNITS):
- ENTRY INTO THE LAUNDRY FACILITY MUST BE AVAILABLE AT ALL TIMES AND DAYS.
 - ENTRANCE MUST HAVE A MINIMUM ROOF COVERING OF 20 SF AND HAVE ADEQUATE LIGHTING FUNCTIONING FROM DUSK TO DAWN.
 - PRIMARY ENTRANCE DOOR TO THE LAUNDRY FACILITIES MUST BE FULL VIEW / FULL LENGTH GLASS TO ALLOW RESIDENTS A VIEW OF THE OUTSIDE/INSIDE. BLINDS ARE PROHIBITED.
 - DEVELOPMENTS W/ 100+ UNITS MUST PROVIDE (7) WASHERS AND (7) DRYERS.
 - MUST CONTAIN ADEQUATE SEATING.
 - A WORKING SURFACE FOR FOLDIG CLOTHES MUST BE INSTALLED. 24" X 48" AND 8 SF MINIMUM. MUST PROVIDE 8 SF PER EVERY TWELVE WASHER/DRYERS PROVIDED.
 - ONE OF EVERY TWELVE WASHER/DRYERS PROVIDED MUST BE ADA COMPLIANT AND ACCESSIBLE WITH ONE WORKING SURFACE ALSO BEING ADA COMPLIANT AND ACCESSIBLE.
- J) POSTAL FACILITIES (IF NOT LOCATED WITHIN THE BUILDING):
- MUST HAVE A ROOF COVERING WHICH OFFERS RESIDENTS AMPLE PROTECTION FROM THE RAIN WHILE GATHERING MAIL
 - MUST BE LOCATED ADJACENT TO AVAILABLE PARKING AND SITED SUCH THAT TENANTS WILL NOT OBSTRUCT TRAFFIC WHILE COLLECTING MAIL
 - MUST HAVE ADEQUATE LIGHTING FUNCTIONING FROM DUSK TO DAWN
- K) OFFICE AND MAINTENANCE ROOM:
- MUST HAVE AN OFFICE ONSITE OF 200 SF MINIMUM
 - MUST HAVE A MAINTENANCE ROOM OF 200 SF MINIMUM
 - MUST CONTAIN ADA COMPLIANT TOILET FACILITIES
 - MUST BE CLEARLY MARKED AND VISIBLE WITH EXTERIOR SIGNAGE ON OR CLOSE TO BUILDING
- L) REQUIRED PLAYGROUND AMENITY (FAMILY DEVELOPMENTS ONLY)
- EQUIPMENT MUST BE OF COMMERCIAL DESIGN AND QUALITY
 - ALL PLAYGROUNDS MUST EACH CONTAIN AT LEAST FOUR PLAY STATIONS/ACTIVITIES
 - PLAYGROUNDS MUST BE LOCATED AWAY FROM AREAS OF FREQUENT AUTOMOBILE TRAFFIC AND SITUATED SUCH THAT THE PLAY AREA IS VISIBLE FROM THE OFFICE AND MAXIMUM NUMBER OF RESIDENTIAL UNITS
 - PLAYGROUND MUST BE ACCESSIBLE TO PERSONS WITH MOBILITY IMPAIRMENTS
 - MUST INCLUDE A BENCH THAT IS WEATHER RESISTANT, METAL OR COMPOSITE, HAVE A BACK, AND BE ANCHORED PERMANENTLY

APP114 - ENLARGED PLANS - MAINTENANCE BUILDING

DEVELOPER 6/19/25

KCG DEVELOPMENT

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CAMELIA RIDGE APARTMENTS

HARTSVILLE, SC



SCHEMATIC DESIGN

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- NOTES:
- A) EXTERIOR WALL FACES MUST HAVE AN EXCESS OF 20% BRICK OR NATURAL OR MANUFACTURED STONE ON EACH OF THE EXTERIOR WALL SURFACES, INCLUDING THE FRONT WALL FACE, EACH SIDE'S WALL FACE, AND THE REAR WALL FACE OF THE BUILDINGS.
- B) HIGH QUALITY DURABLE LOW MAINTENANCE MATERIALS ARE REQUIRED FOR EXTERIOR BUILDING COVERINGS ON ALL ELEVATIONS INCLUDING ALL EXTERIOR TRIMS, FASCIA, SOFFITS, CEILINGS, AND VENTS, AND MUST BE WARRANTED FOR AT LEAST 30 YEARS AS INSTALLED.
- C) MULTI-STORY SECOND, THIRD, OR FOURTH FLOOR ELEVATED PORCH, PATIO, OR BREEZEWAY MAY BE CONSTRUCTED UTILIZING CONCRETE SLABS OR 5/4" COMPOSITE MATERIALS FOR THE DECK. CONCEALMENT OF WOOD SHALL BE WITH COMPOSITE MATERIALS SUCH AS PVC COATED COIL STOCK, VINYL 1X'S, COMPOSITE 1X'S, AND FIBER CEMENT TRIMS.
- D) HAND RAILS AND/OR GUAR RAIL SYSTEMS USED AT STEPS, PORCHES, AND PATIOS SHALL BE CODE COMPLIANT SYSTEMS MADE OF COMPOSITE MATERIALS SUCH AS VINYL, FIBERGLASS, STEEL (FIELD PAINTED), OR ALUMINUM.

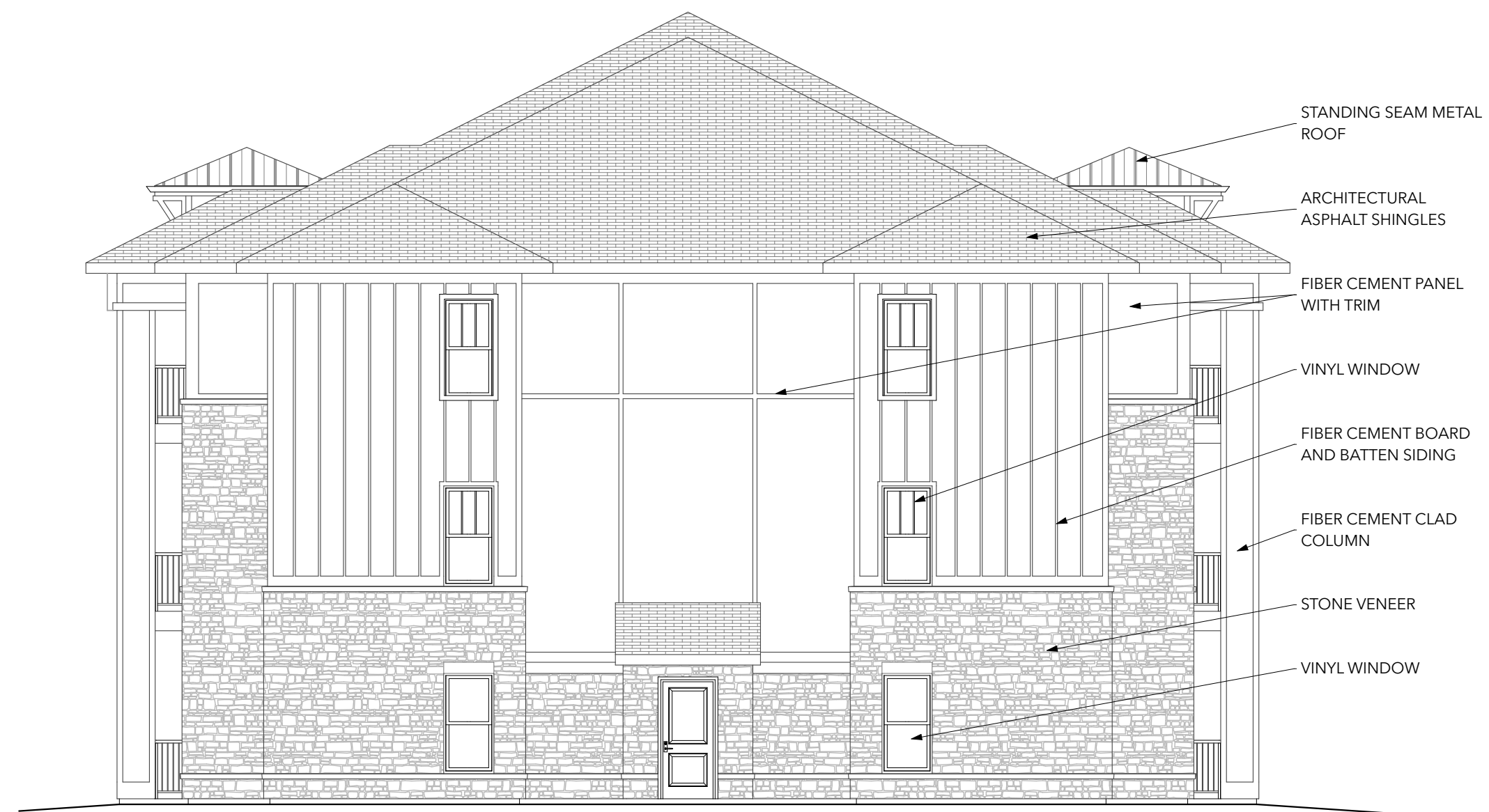
4 BUILDING TYPE 1 REAR ELEVATION
SCALE: 1/8" = 1'-0"



3 BUILDING TYPE 1 FRONT ELEVATION
SCALE: 1/8" = 1'-0"



2 BUILDING TYPE 1 SIDE 2 ELEVATION
SCALE: 1/8" = 1'-0"



1 BUILDING TYPE 1 SIDE 1 ELEVATION
SCALE: 1/8" = 1'-0"

DEVELOPER 6/19/25

KCG DEVELOPMENT

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APP115 - ELEVATIONS - BUILDING TYPE 1

CAMELIA RIDGE APARTMENTS

HARTSVILLE, SC



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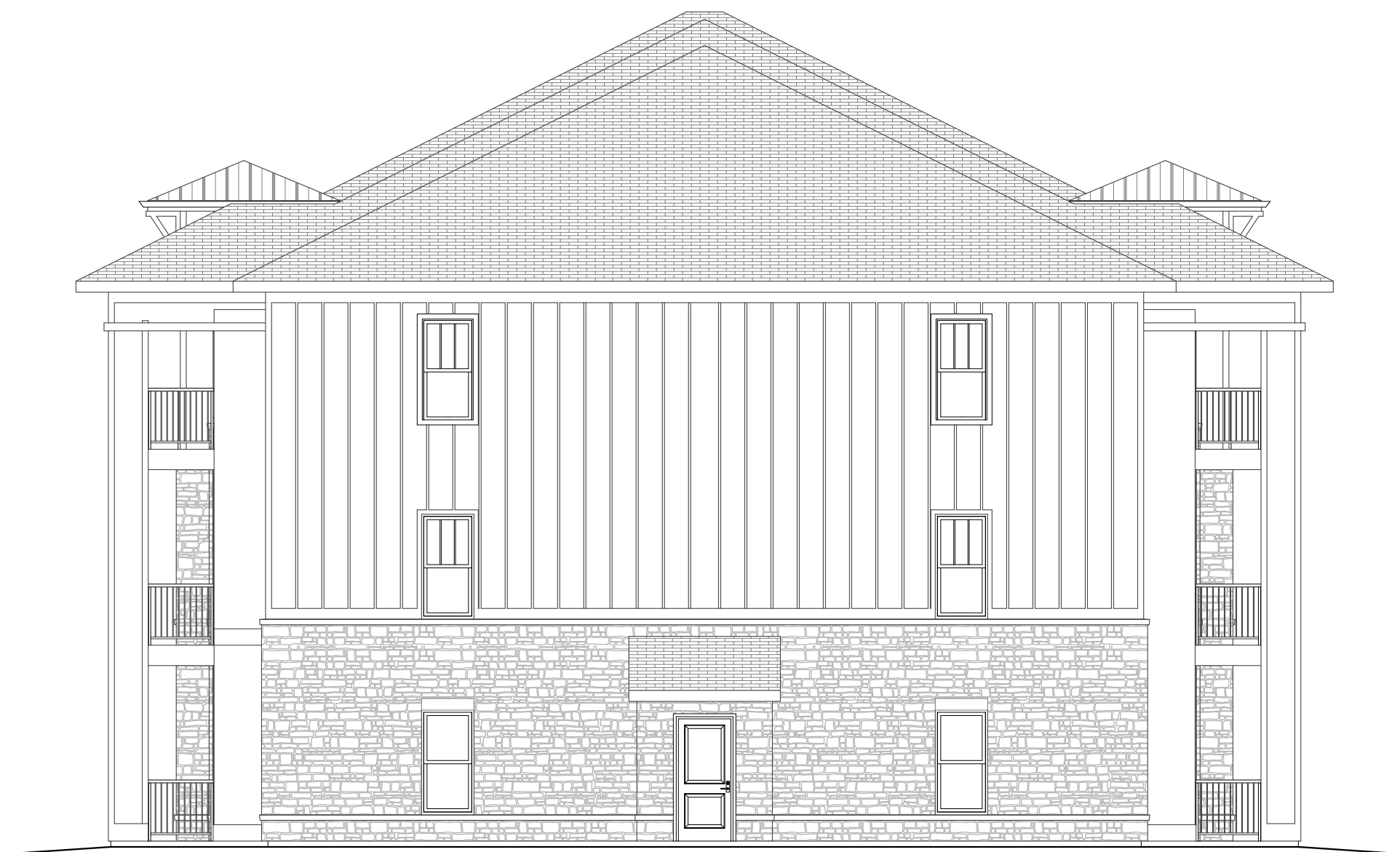
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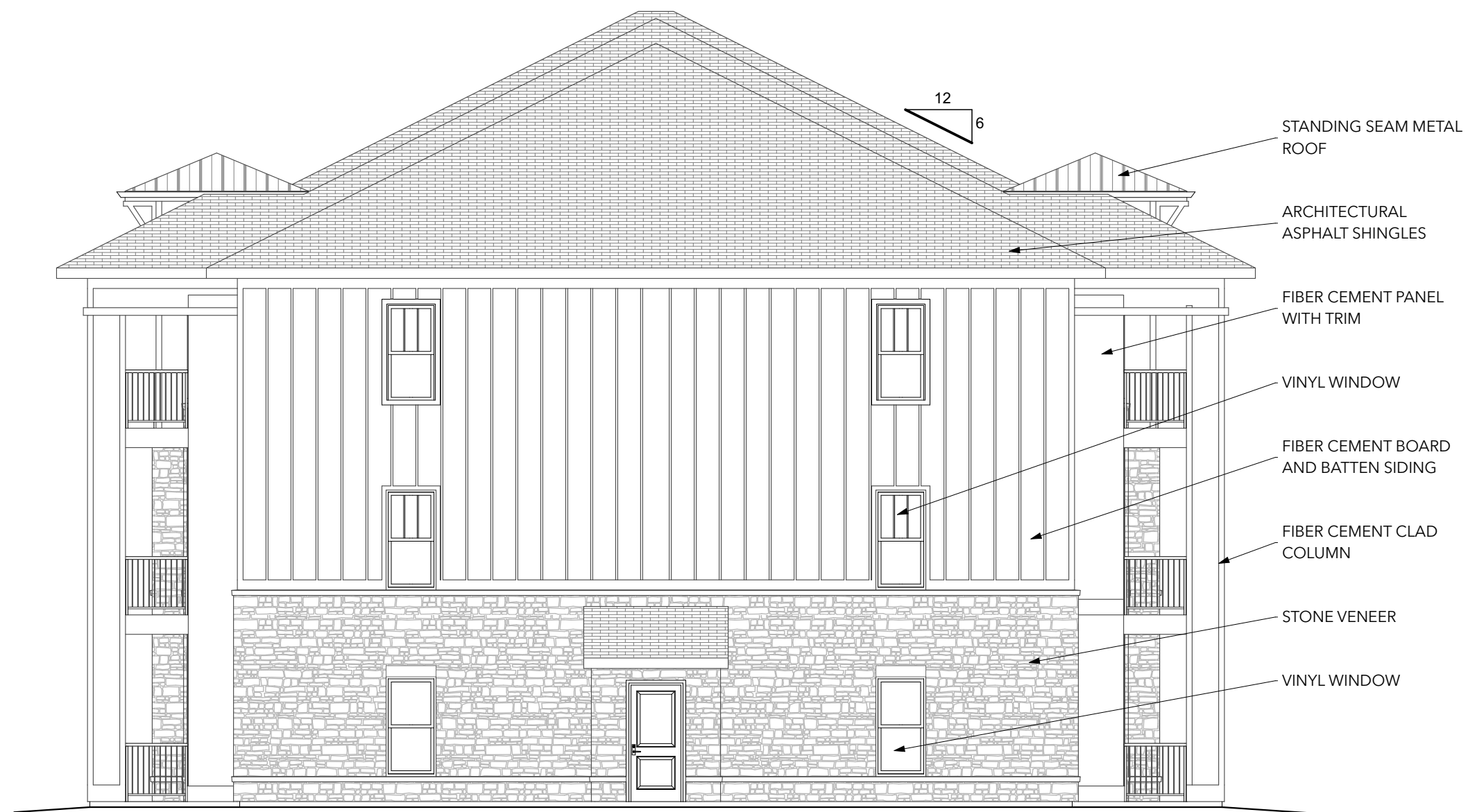
4 BUILDING TYPE 2 REAR ELEVATION
SCALE: 1/8" = 1'-0"



3 BUILDING TYPE 2 FRONT ELEVATION
SCALE: 1/8" = 1'-0"



2 BUILDING TYPE 2 SIDE 2 ELEVATION
SCALE: 1/8" = 1'-0"



1 BUILDING TYPE 2 SIDE 1 ELEVATION
SCALE: 1/8" = 1'-0"

NOTES:

- A) EXTERIOR WALL FACES MUST HAVE AN EXCESS OF 20% BRICK OR NATURAL OR MANUFACTURED STONE ON EACH OF THE EXTERIOR WALL SURFACES, INCLUDING THE FRONT WALL FACE, EACH SIDE'S WALL FACE, AND THE REAR WALL FACE OF THE BUILDINGS.
- B) HIGH QUALITY DURABLE LOW MAINTENANCE MATERIALS ARE REQUIRED FOR EXTERIOR BUILDING COVERINGS ON ALL ELEVATIONS INCLUDING ALL EXTERIOR TRIMS, FASCIA, SOFFITS, CEILINGS, AND VENTS, AND MUST BE WARRANTED FOR AT LEAST 30 YEARS AS INSTALLED.
- C) MULTI-STORY SECOND, THIRD, OR FOURTH FLOOR ELEVATED PORCH, PATIO, OR BREEZEWAY MAY BE CONSTRUCTED UTILIZING CONCRETE SLABS OR 5/4" COMPOSITE MATERIALS FOR THE DECK. CONCEALMENT OF WOOD SHALL BE WITH COMPOSITE MATERIALS SUCH AS PVC COATED COIL STOCK, VINYL 1X'S, COMPOSITE 1X'S, AND FIBER CEMENT TRIMS.
- D) HAND RAILS AND/OR GUAR RAIL SYSTEMS USED AT STEPS, PORCHES, AND PATIOS SHALL BE CODE COMPLIANT SYSTEMS MADE OF COMPOSITE MATERIALS SUCH AS VINYL, FIBERGLASS, STEEL (FIELD PAINTED), OR ALUMINUM.

DEVELOPER 6/19/25

KCG DEVELOPMENT

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APP116 - ELEVATIONS - BUILDING TYPE 2

CAMELIA RIDGE APARTMENTS

HARTSVILLE, SC

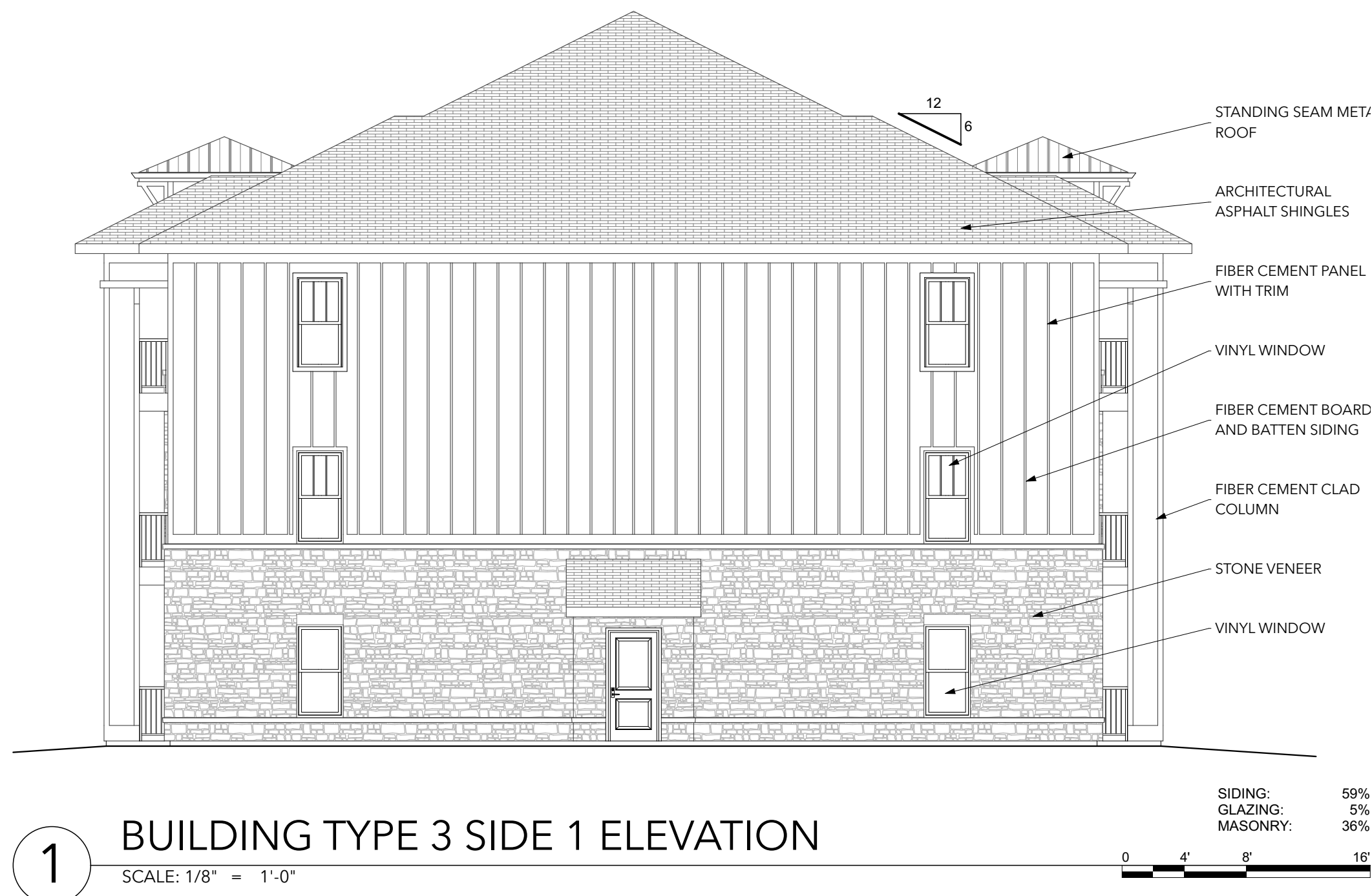
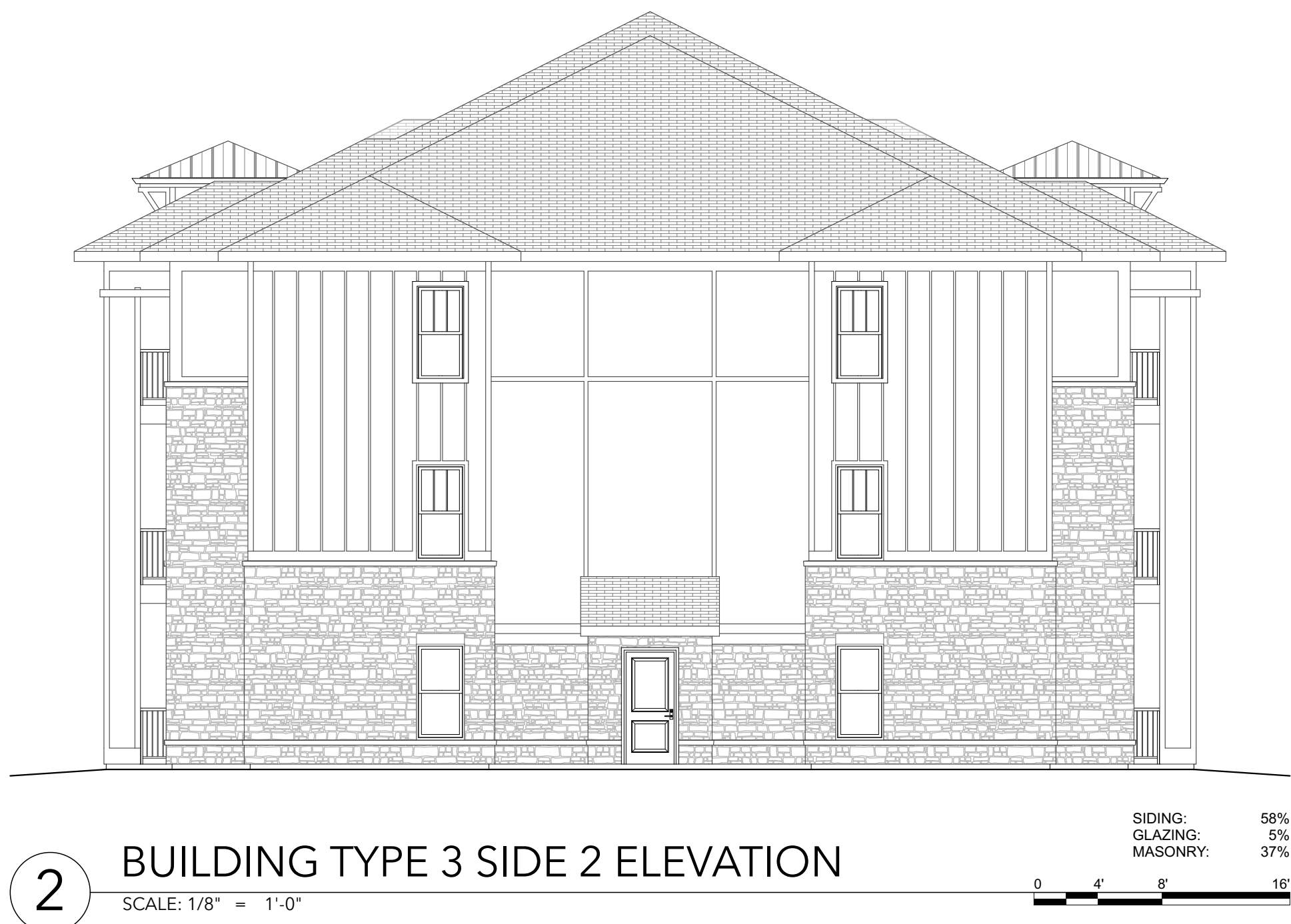


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- NOTES:
- A) EXTERIOR WALL FACES MUST HAVE AN EXCESS OF 20% BRICK OR NATURAL OR MANUFACTURED STONE ON EACH OF THE EXTERIOR WALL SURFACES, INCLUDING THE FRONT WALL FACE, EACH SIDE'S WALL FACE, AND THE REAR WALL FACE OF THE BUILDINGS.
- B) HIGH QUALITY DURABLE LOW MAINTENANCE MATERIALS ARE REQUIRED FOR EXTERIOR BUILDING COVERINGS ON ALL ELEVATIONS INCLUDING ALL EXTERIOR TRIMS, FASCIA, SOFFITS, CEILINGS, AND VENTS, AND MUST BE WARRANTED FOR AT LEAST 30 YEARS AS INSTALLED.
- C) MULTI-STORY SECOND, THIRD, OR FOURTH FLOOR ELEVATED PORCH, PATIO, OR BREEZEWAY MAY BE CONSTRUCTED UTILIZING CONCRETE SLABS OR 5/4" COMPOSITE MATERIALS FOR THE DECK. CONCEALMENT OF WOOD SHALL BE WITH COMPOSITE MATERIALS SUCH AS PVC COATED COIL STOCK, VINYL 1X'S, COMPOSITE 1X'S, AND FIBER CEMENT TRIMS.
- D) HAND RAILS AND/OR GUAR RAIL SYSTEMS USED AT STEPS, PORCHES, AND PATIOS SHALL BE CODE COMPLIANT SYSTEMS MADE OF COMPOSITE MATERIALS SUCH AS VINYL, FIBERGLASS, STEEL (FIELD PAINTED), OR ALUMINUM.



DEVELOPER 6/19/25

KCG DEVELOPMENT

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APP117 - ELEVATIONS - BUILDING TYPE 3

CAMELIA RIDGE APARTMENTS

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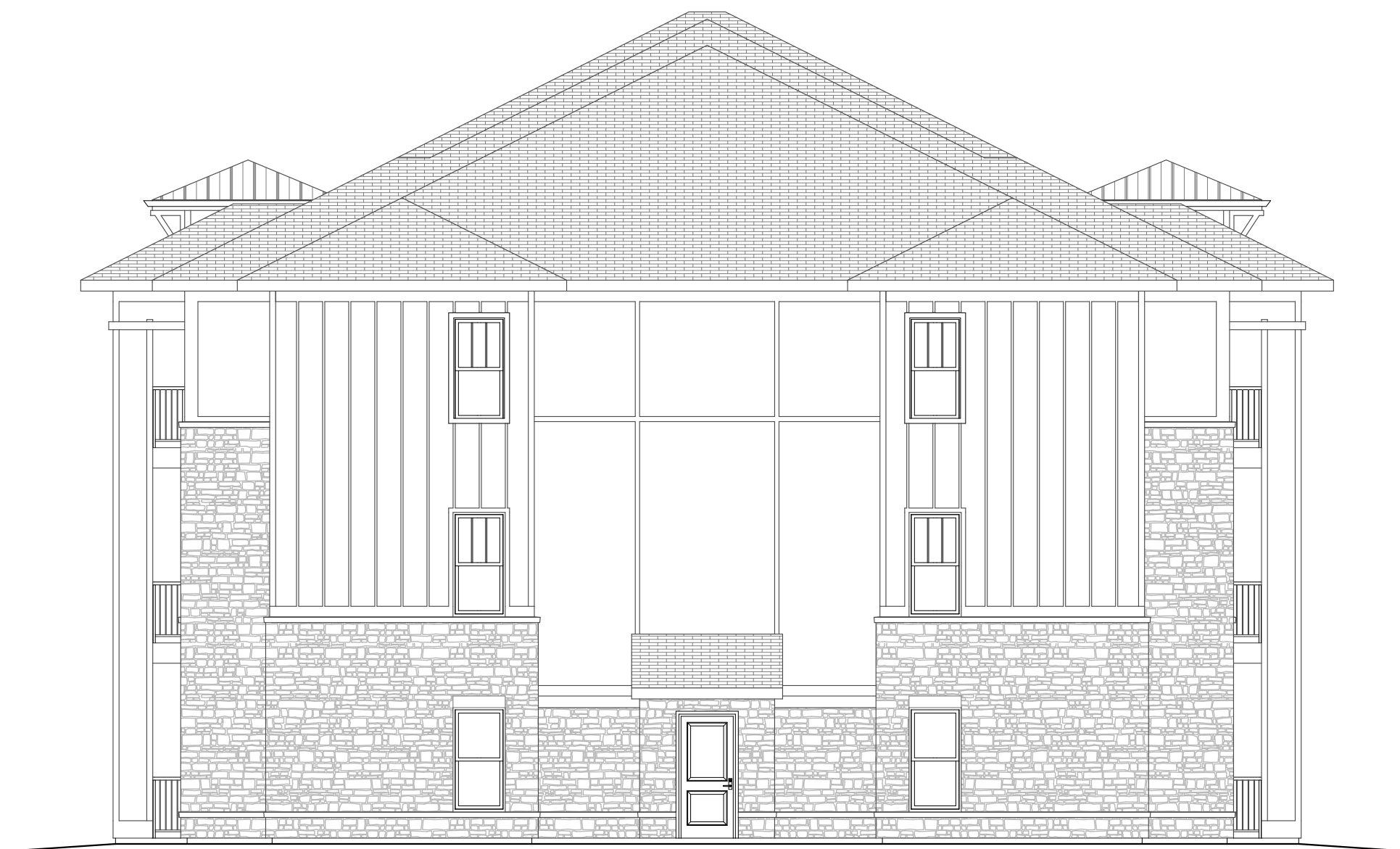
4 BUILDING TYPE 4 REAR ELEVATION
SCALE: 1/8" = 1'-0"

SIDING:	44%
GLAZING:	25%
MASONRY:	31%



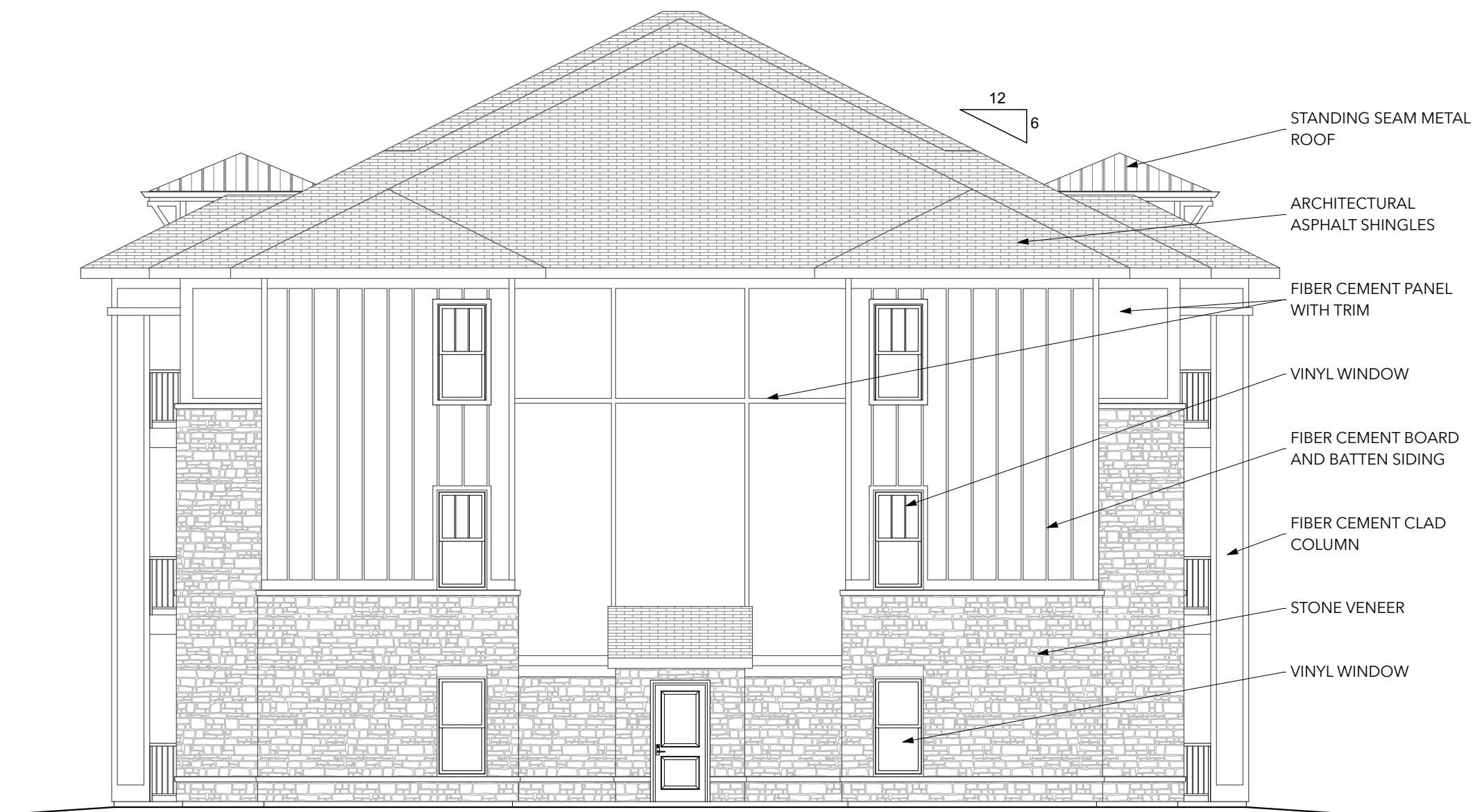
3 BUILDING TYPE 4 FRONT ELEVATION
SCALE: 1/8" = 1'-0"

SIDING:	44%
GLAZING:	25%
MASONRY:	31%



2 BUILDING TYPE 4 SIDE 2 ELEVATION
SCALE: 1/8" = 1'-0"

SIDING:	58%
GLAZING:	5%
MASONRY:	37%



1 BUILDING TYPE 4 SIDE 1 ELEVATION
SCALE: 1/8" = 1'-0"

SIDING:	58%
GLAZING:	5%
MASONRY:	37%

- NOTES:**
- A) EXTERIOR WALL FACES MUST HAVE AN EXCESS OF 20% BRICK OR NATURAL OR MANUFACTURED STONE ON EACH OF THE EXTERIOR WALL SURFACES, INCLUDING THE FRONT WALL FACE, EACH SIDE'S WALL FACE, AND THE REAR WALL FACE OF THE BUILDINGS.
- B) HIGH QUALITY DURABLE LOW MAINTENANCE MATERIALS ARE REQUIRED FOR EXTERIOR BUILDING COVERINGS ON ALL ELEVATIONS INCLUDING ALL EXTERIOR TRIMS, FASCIA, SOFFITS, CEILINGS, AND VENTS, AND MUST BE WARRANTED FOR AT LEAST 30 YEARS AS INSTALLED.
- C) MULTI-STORY SECOND, THIRD, OR FOURTH FLOOR ELEVATED PORCH, PATIO, OR BREEZEWAY MAY BE CONSTRUCTED UTILIZING CONCRETE SLABS OR 5/4" COMPOSITE MATERIALS FOR THE DECK. CONCEALMENT OF WOOD SHALL BE WITH COMPOSITE MATERIALS SUCH AS PVC COATED COIL STOCK, VINYL 1X'S, COMPOSITE 1X'S, AND FIBER CEMENT TRIMS.
- D) HAND RAILS AND/OR GUAR RAIL SYSTEMS USED AT STEPS, PORCHES, AND PATIOS SHALL BE CODE COMPLIANT SYSTEMS MADE OF COMPOSITE MATERIALS SUCH AS VINYL, FIBERGLASS, STEEL (FIELD PAINTED), OR ALUMINUM.

DEVELOPER 6/19/25
KCG DEVELOPMENT
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INDIANAPOLIS, IN 46260
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APP118 - ELEVATIONS - BUILDING TYPE 4

CAMELIA RIDGE APARTMENTS
HARTSVILLE, SC

2+2

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SIDING: 65%
GLAZING: 13%
MASONRY: 22%

0 2' 4' 8'

2

CLUBHOUSE RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



SIDING: 52%
GLAZING: 24%
MASONRY: 24%

0 2' 4' 8'

1

CLUBHOUSE FRONT ELEVATION

SCALE: 1/4" = 1'-0"

DEVELOPER 6/19/25

KCG DEVELOPMENT

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APP119 - ELEVATIONS - CLUBHOUSE

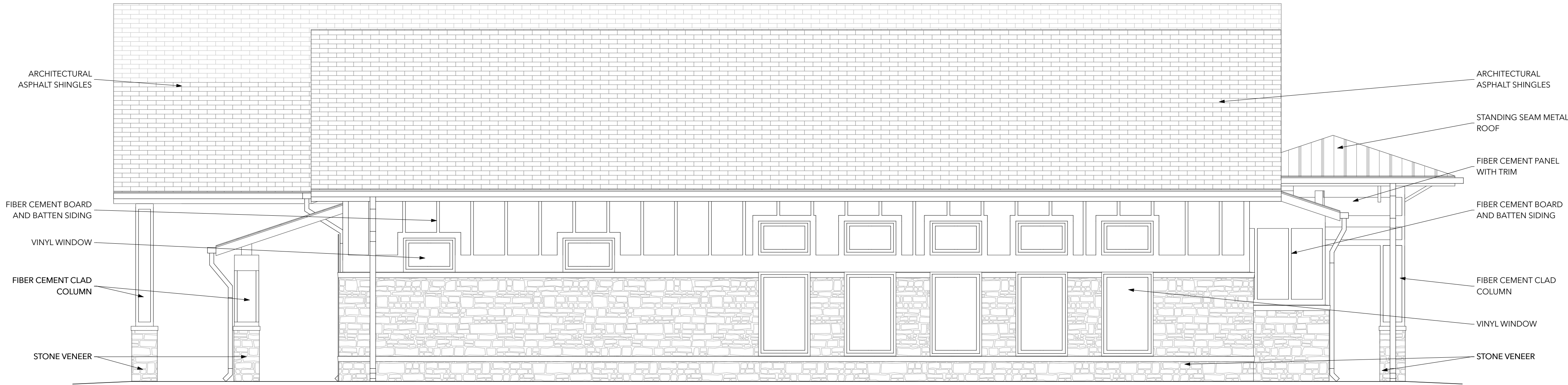
CAMELIA RIDGE APARTMENTS

HARTSVILLE, SC



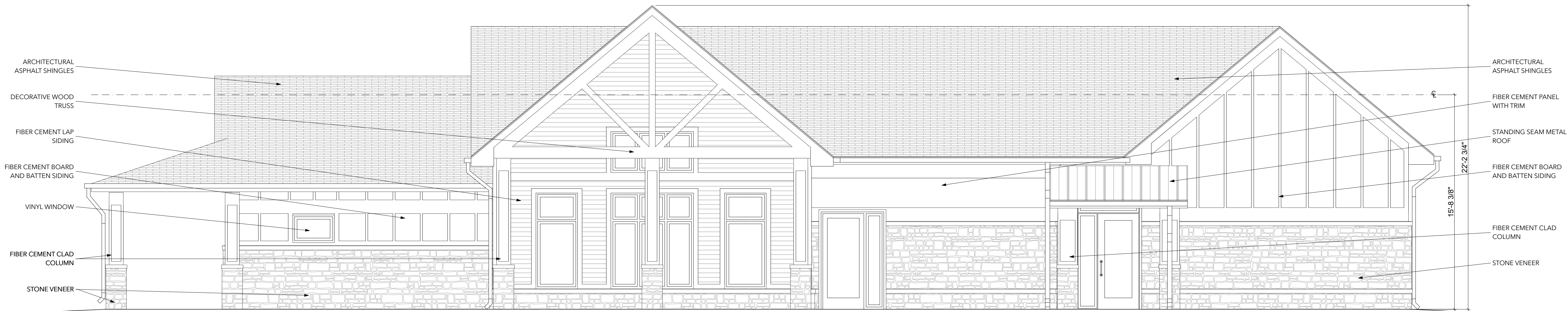
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2 CLUBHOUSE LEFT ELEVATION
SCALE: 1/4" = 1'-0"

SIDING: 37%
GLAZING: 18%
MASONRY: 45%



1 CLUBHOUSE REAR ELEVATION
SCALE: 1/4" = 1'-0"

SIDING: 52%
GLAZING: 18%
MASONRY: 32%

DEVELOPER 6/19/25

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APP120 - ELEVATIONS - CLUBHOUSE

CAMELIA RIDGE APARTMENTS
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